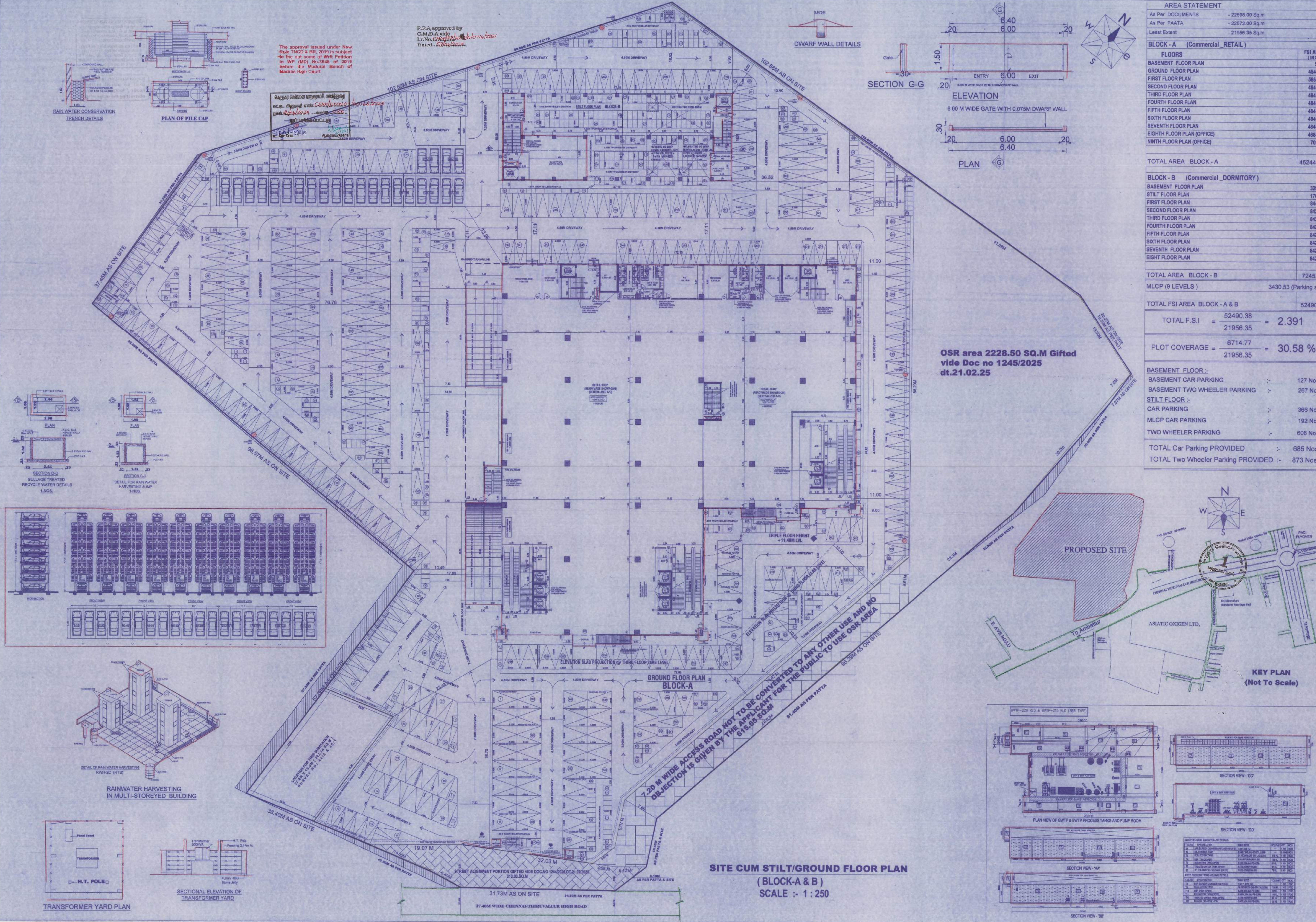




The approval issued under New Rule TNC& & DR, 2019 is subject to the outcome of Writ Petition in WP (MD) No.8948 of 2019 before the Madras Bench of Madras High Court.

P.P.A approved by C.M.D.A vide Lr.No.144/2025 dt.10/11/2021 Dated: 10/11/2021

OSR area 2228.50 SQ.M Gifted vide Doc no 1245/2025 dt.21.02.25

SITE CUM STILT/GROUND FLOOR PLAN (BLOCK-A & B) SCALE :- 1 : 250

AREA STATEMENT	
As Per DOCUMENTS	- 22598.00 Sq. m
As Per P.A.A	- 22572.00 Sq. m
Least Extent	- 21956.35 Sq. m

BLOCK - A (Commercial RETAIL)	
FLOORS	FSI AREA (IN SQ.M)
BASEMENT FLOOR PLAN	59.7
GROUND FLOOR PLAN	4846.06
FIRST FLOOR PLAN	4846.26
SECOND FLOOR PLAN	4846.26
THIRD FLOOR PLAN	4846.26
FOURTH FLOOR PLAN	4846.26
FIFTH FLOOR PLAN	4846.26
SIXTH FLOOR PLAN	4846.26
SEVENTH FLOOR PLAN	4846.26
EIGHTH FLOOR PLAN (OFFICE)	4846.26
NINTH FLOOR PLAN (OFFICE)	709.35
TOTAL AREA BLOCK - A	45244.80

BLOCK - B (Commercial DORMITORY)	
FLOORS	FSI AREA (IN SQ.M)
BASEMENT FLOOR PLAN	329.78
STILT FLOOR PLAN	176.82
FIRST FLOOR PLAN	844.50
SECOND FLOOR PLAN	842.10
THIRD FLOOR PLAN	842.10
FOURTH FLOOR PLAN	842.10
FIFTH FLOOR PLAN	842.10
SIXTH FLOOR PLAN	842.10
SEVENTH FLOOR PLAN	842.10
EIGHT FLOOR PLAN	842.10
TOTAL AREA BLOCK - B	7245.78

MLCP (9 LEVELS)	3430.53 (Parking area)
TOTAL FSI AREA BLOCK - A & B	52490.38
TOTAL F.S.I	$\frac{52490.38}{21956.35} = 2.391$
PLOT COVERAGE	$\frac{6714.77}{21956.35} = 30.58\%$

BASEMENT FLOOR :-	
BASEMENT CAR PARKING	127 Nos
BASEMENT TWO WHEELER PARKING	267 Nos
STILT FLOOR :-	
CAR PARKING	366 Nos
MLCP CAR PARKING	192 Nos
TWO WHEELER PARKING	606 Nos
TOTAL Car Parking PROVIDED	685 Nos
TOTAL Two Wheeler Parking PROVIDED	873 Nos

SHEET - 01/12

PLAN SHOWING THE PROPOSED CONSTRUCTION OF GROUP DEVELOPMENT OF HIGH RISE COMMERCIAL BUILDINGS WITH 2 BLOCKS IN WHICH BLOCK - A: WITH EXTENDED BASEMENT FLOOR (MEANT FOR PARKING) + GROUND FLOOR + 1ST FLOOR TO 7TH FLOOR (FOR RETAIL SHOP USE) + 8TH FLOOR & 9TH FLOOR PART ARE FOR OFFICE USE BUILDING, BLOCK - B: BASEMENT FLOOR (STP, SUMP & PUMP ROOM) + STILT FLOOR (MEANT FOR PARKING) + 1ST FLOOR (DINING HALL) + 2ND FLOOR TO 8TH FLOOR FOR DORMITORY USE AND MLCP (9 LEVEL WITH CAR PARKING 192 NOS) ABUTTING C.T.H.ROAD (FORMERLY M.T.H. ROAD) PADI, CHENNAI - 600 050, COMPRISED IN OLD S.NO:3/1,4/1&2 OF KAKAPALLAM VILLAGE, T.S.NOS:44/2, 44/3,45/1 & 46/2, BLOCK NO:81, WARD - E OF AMBATTUR TOWN, AMBATTUR TALUK, THIRUVALLUR DISTRICT, WITHIN THE LIMITS OF GREATER CHENNAI CORPORATION, ZONE - VII, DIVISION - 84.

SPECIFICATION

- R.C.C COLUMN FOOTING IN FOUNDATION.
- COLUMNS ARE CONNECTED BY BEAMS.
- VITRIFIED TILES FLOORING / SPARTAX FLOORING.
- R.C.C WALL IN BASEMENT AND CEMENT BLOCK IN SUPER STRUCTURE IN C.M 1:5.
- WALLS ARE PLASTERED BY CEMENT PLASTER.
- JOINERY WORK IN COUNTRY WOOD AND UPVC.
- LINTEL OVER OPENINGS.
- ROOF COVERED BY R.C.C SLAB.
- ALL R.C.C WORK IN CEMENT CONCRETE RATIO 1:1:2 (M25 Grade)
- WEATHERING COURSE LAID WITH PROPER

JOINERY DETAILS

RS	ROLLING SHUTTER	4.88 x 2.90
RS1	ROLLING SHUTTER	3.05 x 2.44
ED	ENTRANCE DOOR	1.83 x 2.44
D	DOOR	1.20 x 2.44
D1	DOOR	1.00 x 2.44
D2	DOOR	0.76 x 2.13
V	VENTILATOR	1.00 x 1.00

NOTE:

- MULTI TYPE FIRE FIGHTER
- FIRE EXTINGUISHER

COLOUR INDEX :-

PROPOSED	ALL DIMENSIONS ARE IN METERS
BOUNDARY	SCALE :- 1 : 200
ROAD	

LESSEE SIGNATURE :-

Dr. J. SURESH, M.E., MIE., PH.D.
Structural Engineer
Plot No. 555, Vengal Rao Nagar, Padi Street,
Ambattur, Chennai - 600 119.
Reg. No. 101/2024 T.U. 0054
Cell No. 9842000000
Reg. No. 02/2021 S.E. & 04/2024/ 07/005

STRUCTURAL SIGNATURE :-

ARCHITECTS SIGNATURE :-

PLAN SHOWING THE PROPOSED CONSTRUCTION OF GROUP DEVELOPMENT OF HIGH RISE COMMERCIAL BUILDINGS WITH 2 BLOCKS IN WHICH BLOCK-A: WITH EXTENDED BASEMENT FLOOR (MEANT FOR PARKING) + GROUND FLOOR + 1ST FLOOR TO 7TH FLOOR (FOR RETAIL SHOP USE) + 8TH FLOOR + 9TH FLOOR PART ARE FOR OFFICE USE BUILDING, BLOCK - B: BASEMENT FLOOR (STP, SUMP & PUMP ROOM) + STILT FLOOR (MEANT FOR PARKING) + 1ST FLOOR (DINING HALL) + 2ND FLOOR TO 8TH FLOOR FOR DORMITORY USE AND MLCP (9 LEVEL WITH CAR PARKING 192 NOS) ABUTTING C.T.H. ROAD (FORMERLY M.T.H. ROAD) PADI, CHENNAI - 600 050, COMPRISED IN OLD S.NO: 3/1, 4/1 & 2 OF KAKAPALLAM VILLAGE, T.S.NOS: 44/2, 44/3, 45/1 & 46/2, BLOCK NO: 81, WARD - E OF AMBATTUR TOWN, AMBATTUR TALUK, THIRUVALUR DISTRICT, WITHIN THE LIMITS OF GREATER CHENNAI CORPORATION, ZONE - VII, DIVISION - 84.

SPECIFICATIONS

1. R.C.C COLUMN, FOOTING OR PILES IN FOUNDATION.
2. COLUMNS ARE CONNECTED BY PLINTH BEAMS.
3. MASONRY FLOORING / SPARTAN FLOORING.
4. BRICK WORK IN BASEMENT AND SUPER STRUCTURE IN C.M 1:5.
5. WALLS ARE PLASTERED BY CEMENT PLASTER.
6. JOINERY WORK IN TEAK AND COUNTRY WOOD.
7. LINTEL OVER OPENING.
8. ROOF COVERED BY R.C.C SLAB.
9. ALL R.C.C WORK IN CEMENT CONCRETE M-25.
10. WEATHERING COURSE LAID WITH PROPER SLOPE OVER R.C.C SLAB.



SCALE - 1 : 100

ALL DIMENSION ARE IN METRE

COLOR INDEX :-

PROPOSED

BOUNDARY

ROAD

For KIPS PROPERTY DEVELOPERS PVT. LTD.
Director

LESSEE SIGNATURE :-

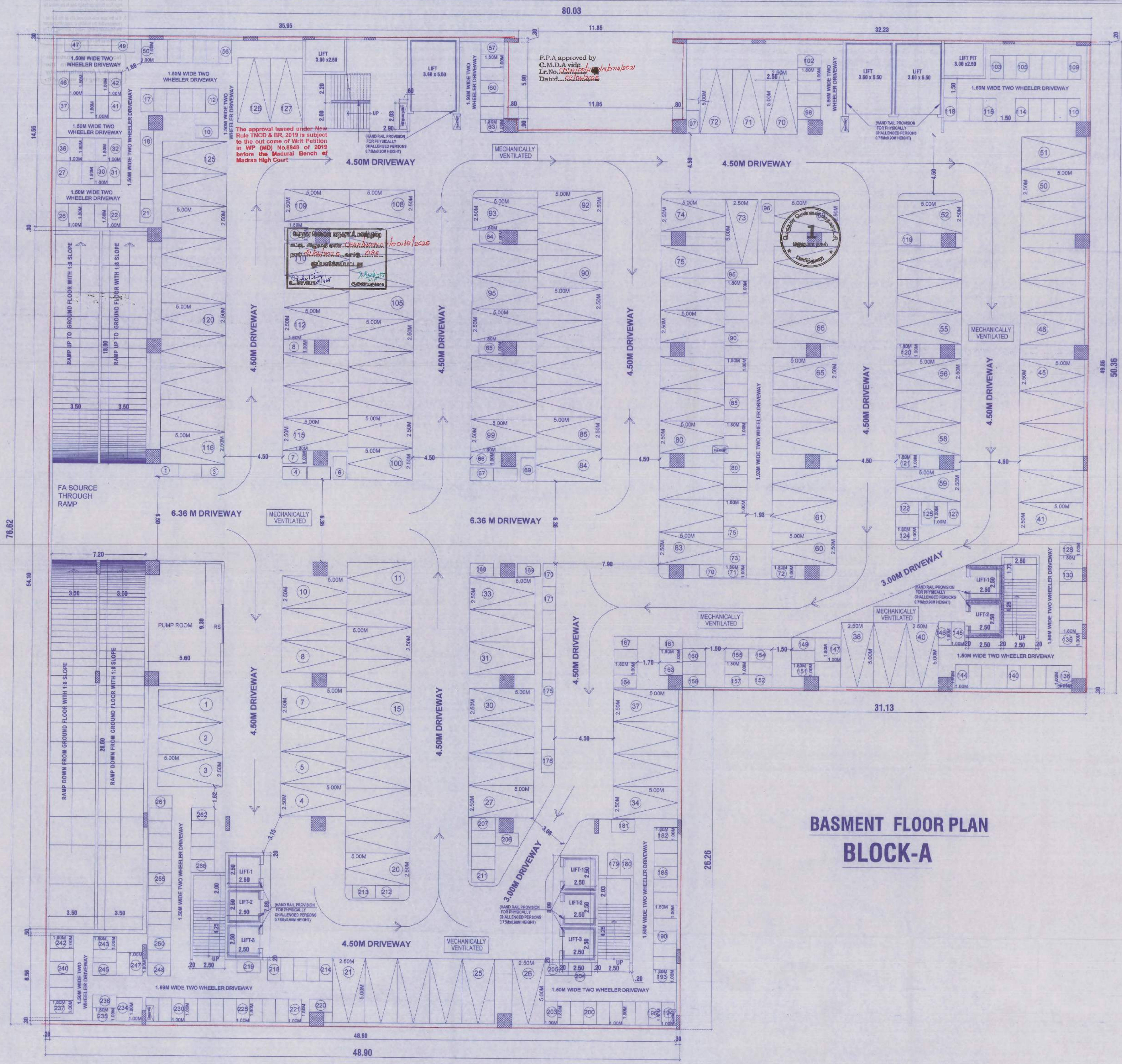
Dr. J. SURESH, M.E., MIE., Ph.D.
Structural Engineer
Plot No. 555, VDP Layout, Koda Street,
Uthandi, Chennai - 600 119.
Reg. No. SE/12024/72/0014
Rev. No. SEE/0302019

STRUCTURAL SIGNATURE :-

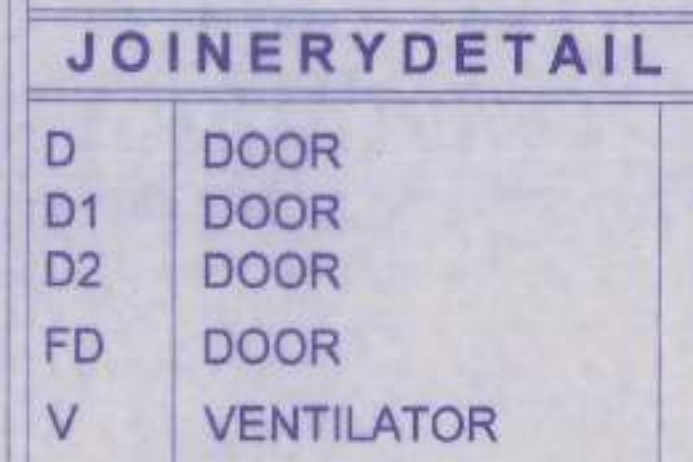
[Signature]
M. SATHANARAYAN
CHDA Regd No. RA/2, 11805214
C.C. No. RA/10132019
Regd. No. RA/10132019
Plot No. 48, Kanara Nagar,
Pariyasa Nagar, Chennai-600 046.
PH: 9171609007
Email: sathanaresk@rediffmail.com

ARCHITECTS SIGNATURE:-

BASMENT FLOOR PLAN
BLOCK-A



1. R.C.C COLUMN, FOOTING OR PILES IN FOUNDATION.
2. COLUMNS ARE CONNECTED BY PLINTH BEAMS.
3. MOSAIC FLOORING / SPARTAX FLOORING.
4. BRICK WORK IN BASEMENT AND SUPER STRUCTURE IN C/M 1:5.
5. WALLS ARE PLASTERED BY CEMENT PLASTER.
6. JOINERY WORK IN TEAK AND COUNTRY WOOD.



ALL DIMENSION ARE IN METRE

COLOR INDEX :-

PROPOSED

ROAD [illegible][illegible]

LESSEE SIGNATURE: _____

[Signature]

Pub. No. 555, VOP layout, MIRA 5000,
Imperial Chemical - 640 119.

Reg. No. GCDIST/SE/Gr-I/2024/07/035

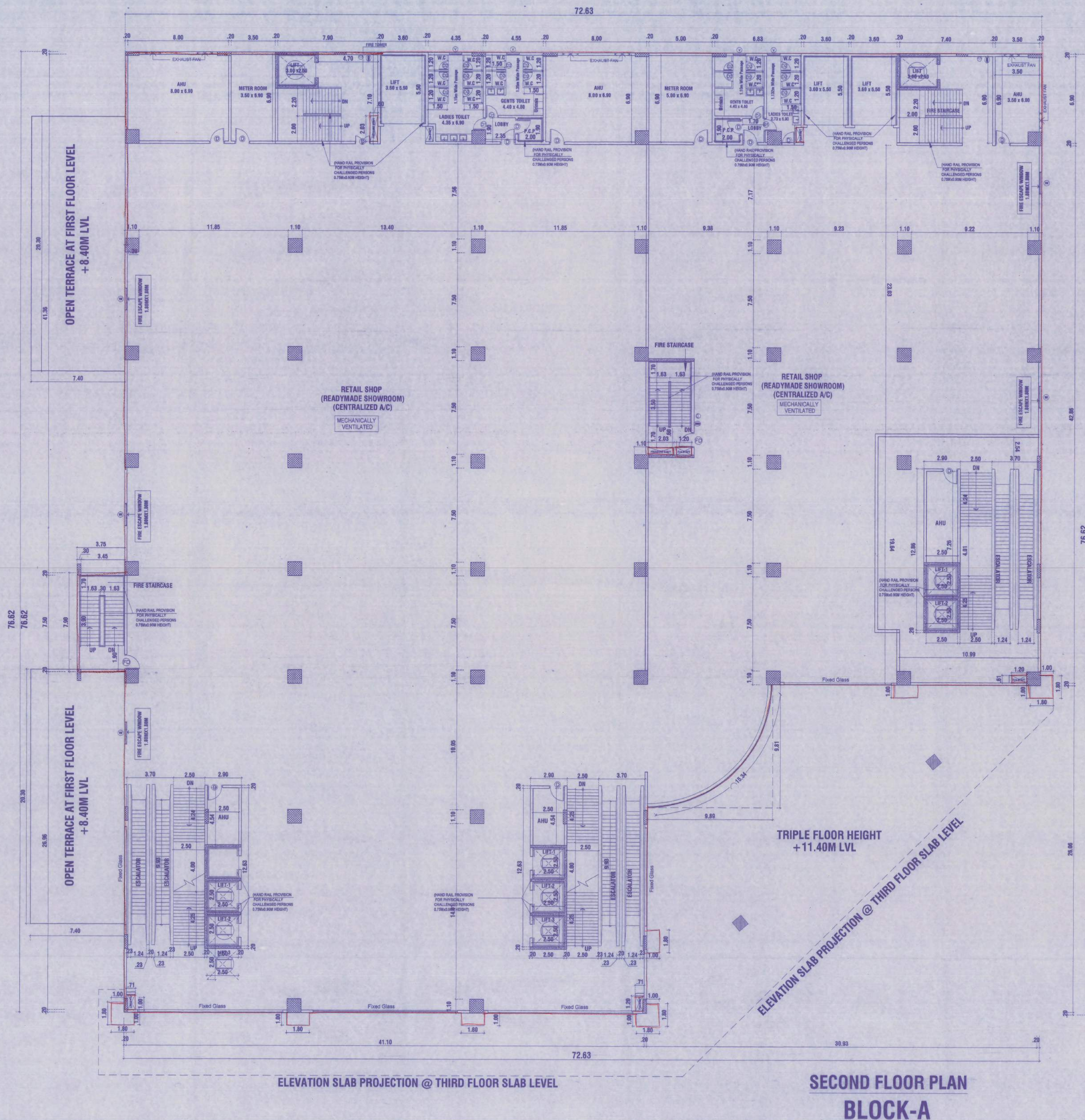
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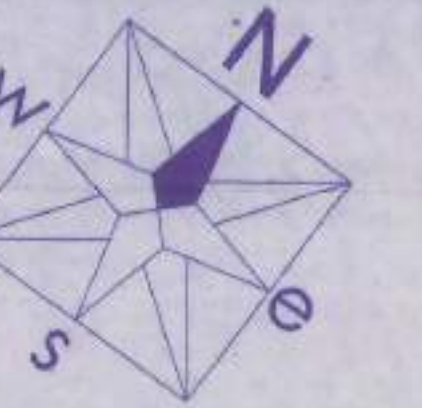
01

Ex: Angkor Wat

DTCP Regd. No: CGLRGNRA/G-32019/12/000
G.C.C. No: RA101382019

Ph: 517 509 007
Email: shreekalife@gmail.com





JOINERYDETAIL		
D	DOOR	1.20 x 2.44
D1	DOOR	1.00 x 2.44
D2	DOOR	0.70 x 2.44
FD	DOOR	1.20 x 2.90
V	VENTILATOR	1.00 x 1.00

ALL DIMENSION ARE IN METRE

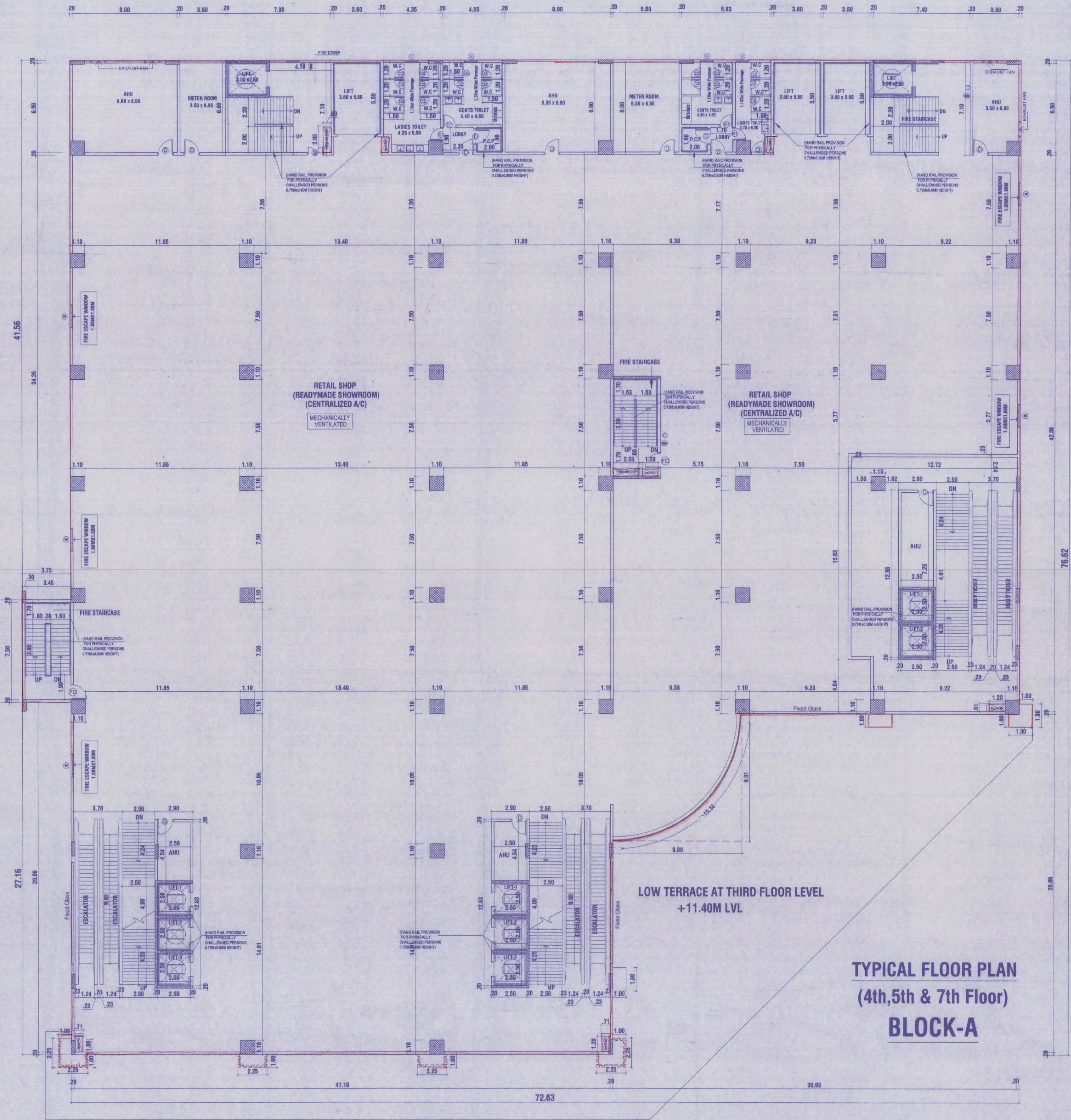
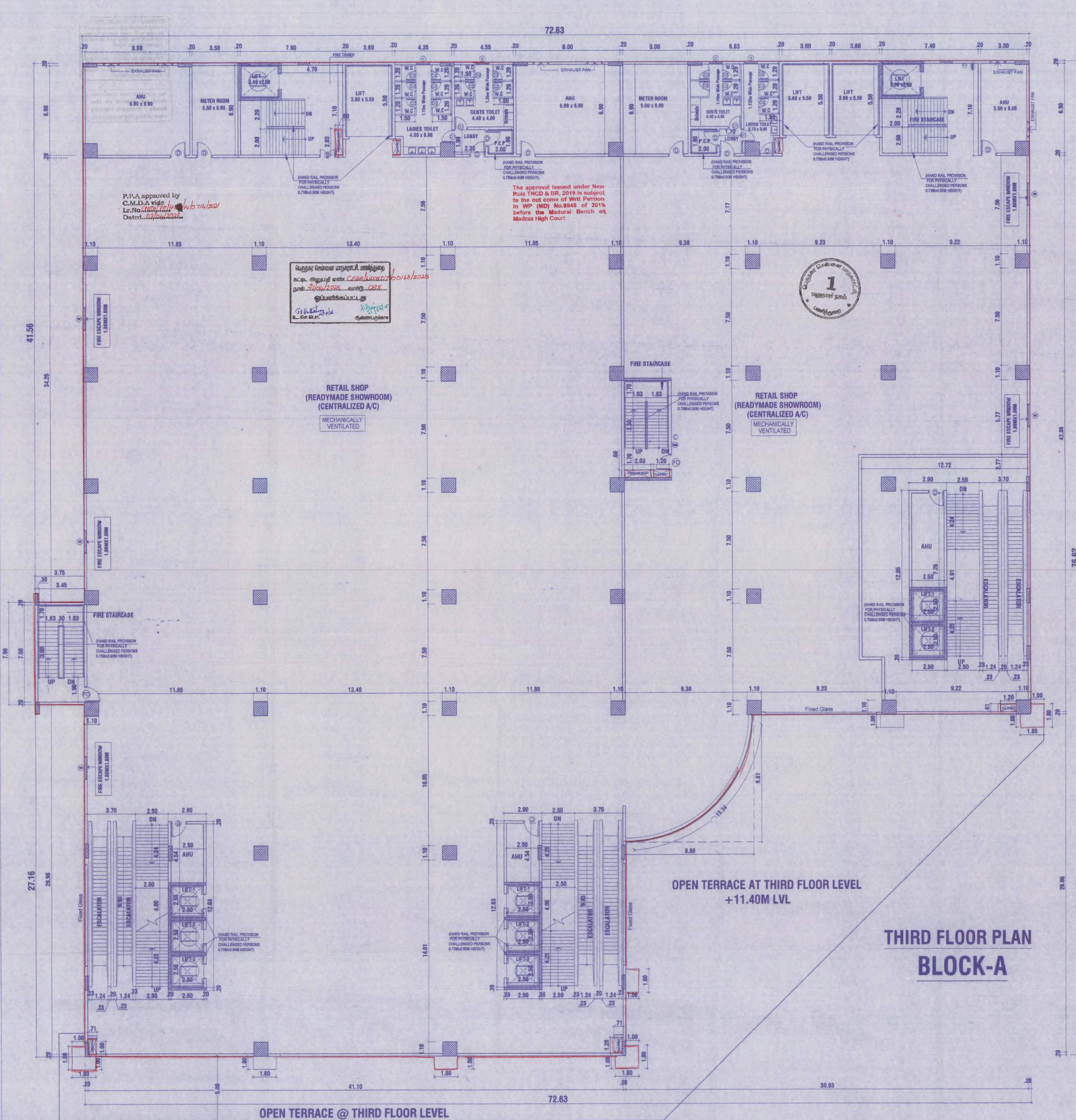
PROPOSED

ROAD

S. Ramani
Director

STRUCTURAL SIGNATURE :-

21



PLAN SHOWING THE PROPOSED CONSTRUCTION OF GROUP DEVELOPMENT OF HIGH RISE COMMERCIAL BUILDINGS WITH 2 BLOCKS IN WHICH BLOCK - A: WITH EXTENDED BASEMENT FLOOR (MEANT FOR PARKING) + GROUND FLOOR + 1ST FLOOR TO 7TH FLOOR (FOR RETAIL SHOP USE) + 8TH FLOOR + 9TH FLOOR PART ARE FOR OFFICE USE BUILDING, BLOCK - B: BASEMENT FLOOR (STP, SUMP & PUMP ROOM) + STILT FLOOR (MEANT FOR PARKING) + 1ST FLOOR (DINING HALL) + 2ND FLOOR TO 8TH FLOOR FOR DOMESTIC USE AND M.C.P. (9 LEVEL WITH CAR PARKING 192 NOS) ABUTTING C.T.H. ROAD (FORMERLY M.T.H. ROAD) PADI, CHENNAI - 600 050, COMPRISED IN OLD S.NO:3/1,4/1&2 OF KAKAPALLAM VILLAGE, T.S.NOS:44/2, 44/3, 46/1 & 46/2, BLOCK NO:81, WARD - E OF AMBATTUR TOWN, AMBATTUR TALUK, THIRUVALLUR DISTRICT, WITHIN THE LIMITS OF GREATER CHENNAI CORPORATION, ZONE - VII, DIVISION - 84.

SPECIFICATIONS

1. R.C.C COLUMN, FOOTING OR PILES IN FOUNDATION.
2. COLUMNS ARE CONNECTED BY PLINTH BEAMS.
3. MOSAIC FLOORING / SPARTAN FLOORING.
4. BRICK WORK IN BASEMENT AND SUPER STRUCTURE IN CM 1:5.
5. WALLS ARE PLASTERED BY CEMENT PLASTER.
6. JOINERY WORK IN TEAK AND COUNTRY WOOD.
7. LINTIL OVER OPENING.
8. ROOF COVERED BY R.C.C SLAB.
9. ALL R.C.C WORK IN CEMENT CONCRETE M-25.
10. WEATHERING COURSE LAID WITH PROPER SLOPE OVER R.C.C SLAB.



JOINERYDETAIL

D	DOOR	1.20 x 2.44
D1	DOOR	1.00 x 2.44
D2	DOOR	0.70 x 2.44
FD	DOOR	1.20 x 2.90
V	VENTILATOR	1.00 x 1.00

SCALE - 1 : 100

ALL DIMENSION ARE IN METRE

COLOR INDEX :-

PROPOSED

BOUNDARY

ROAD

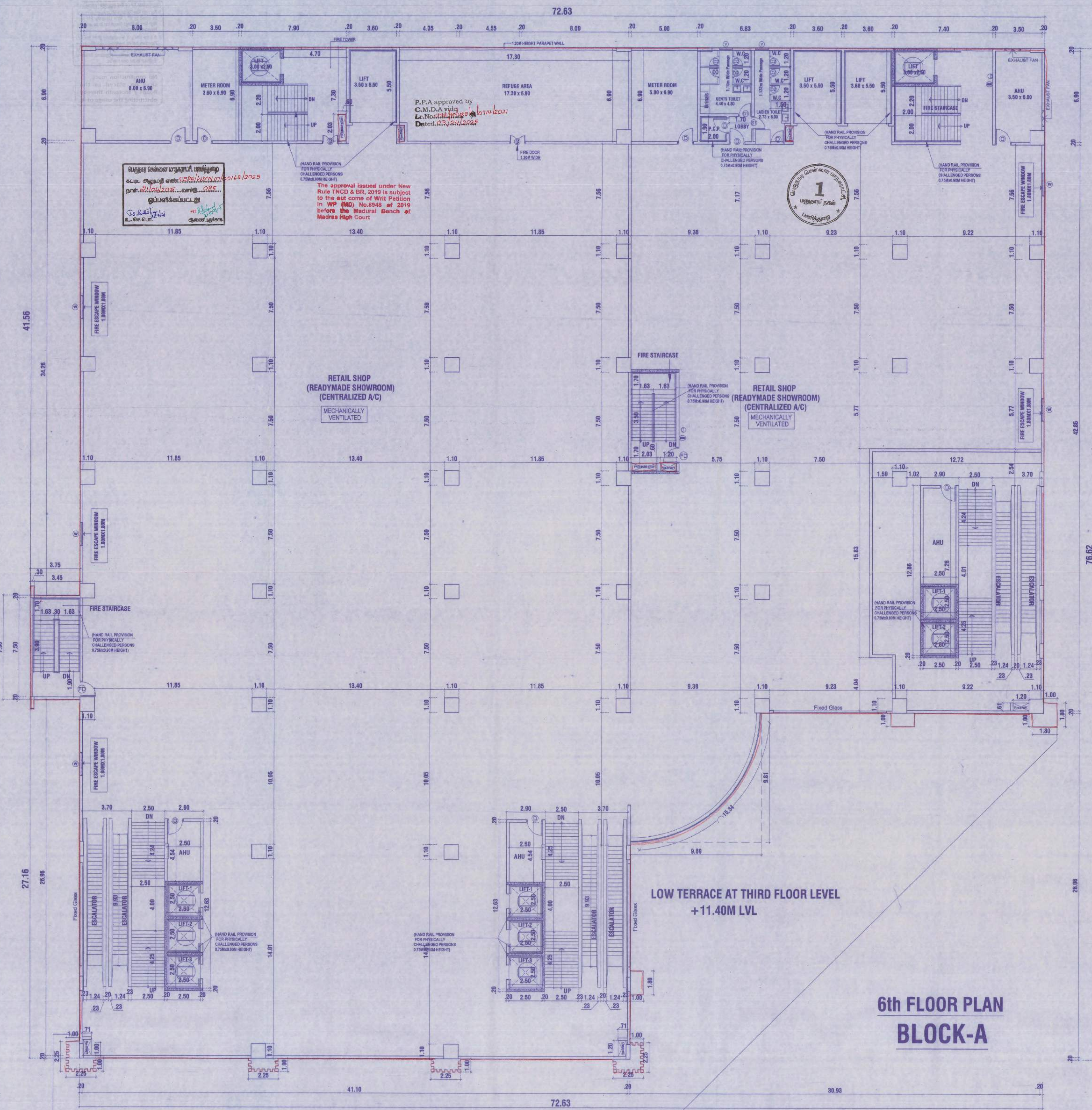
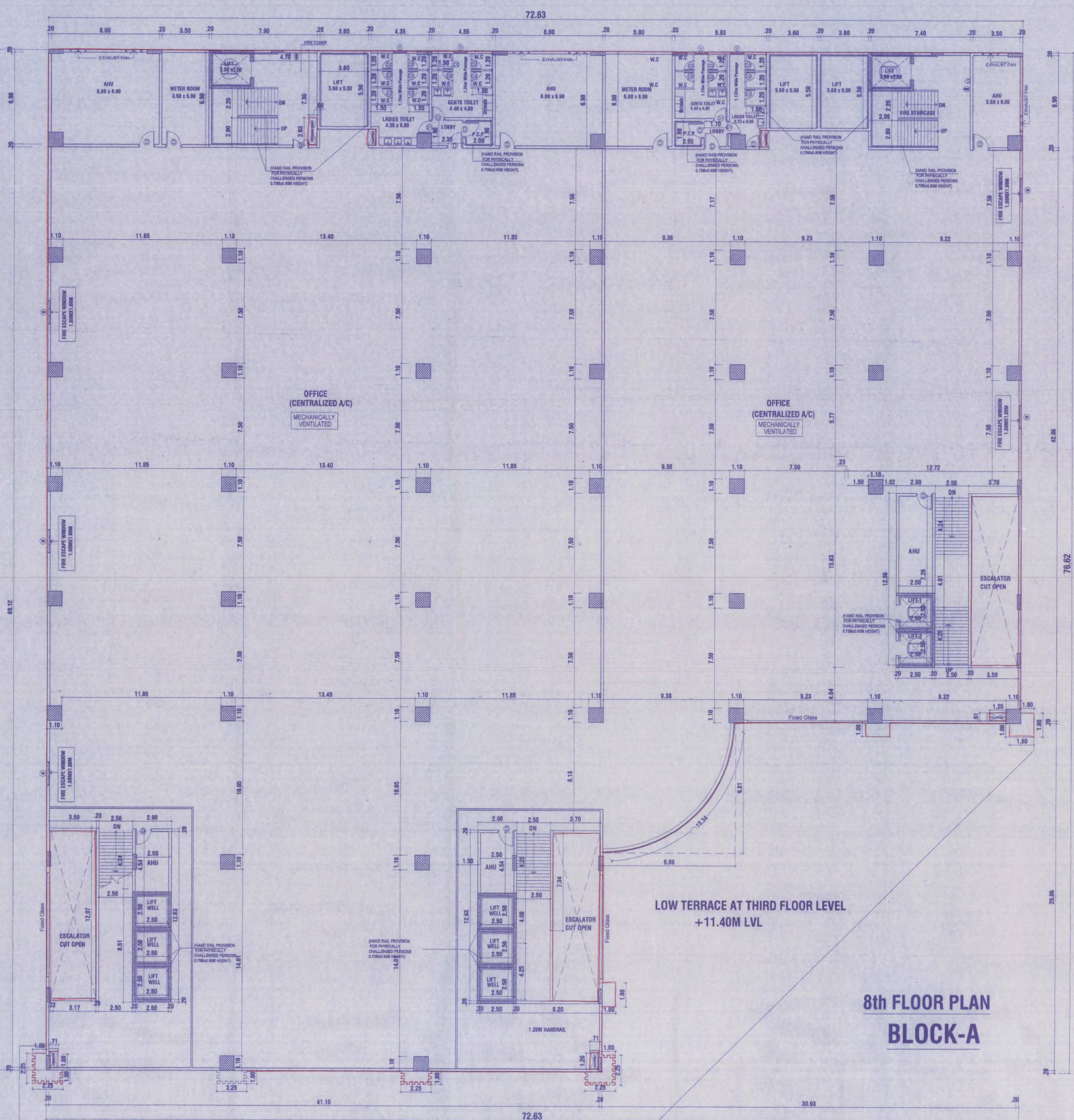
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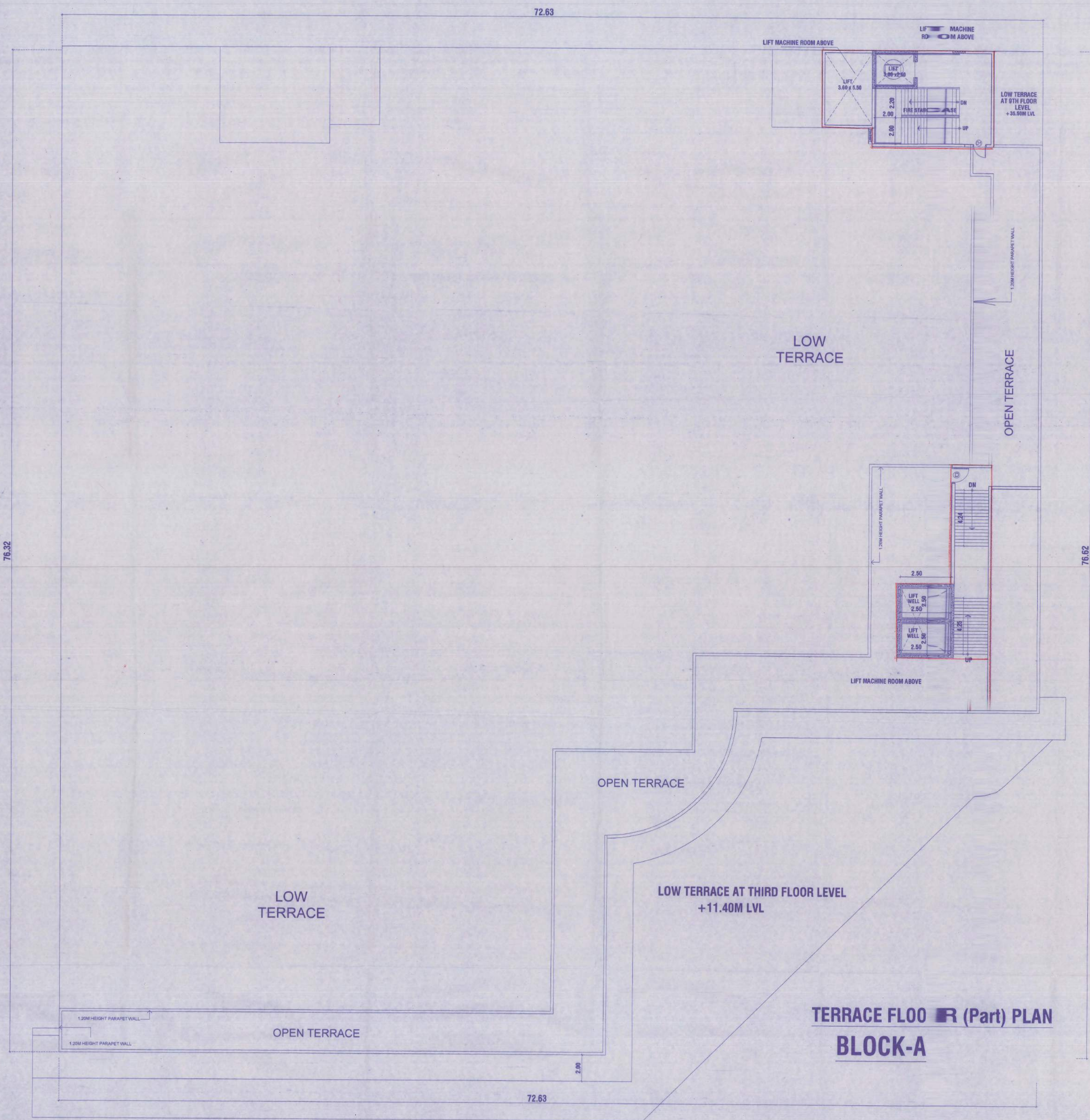
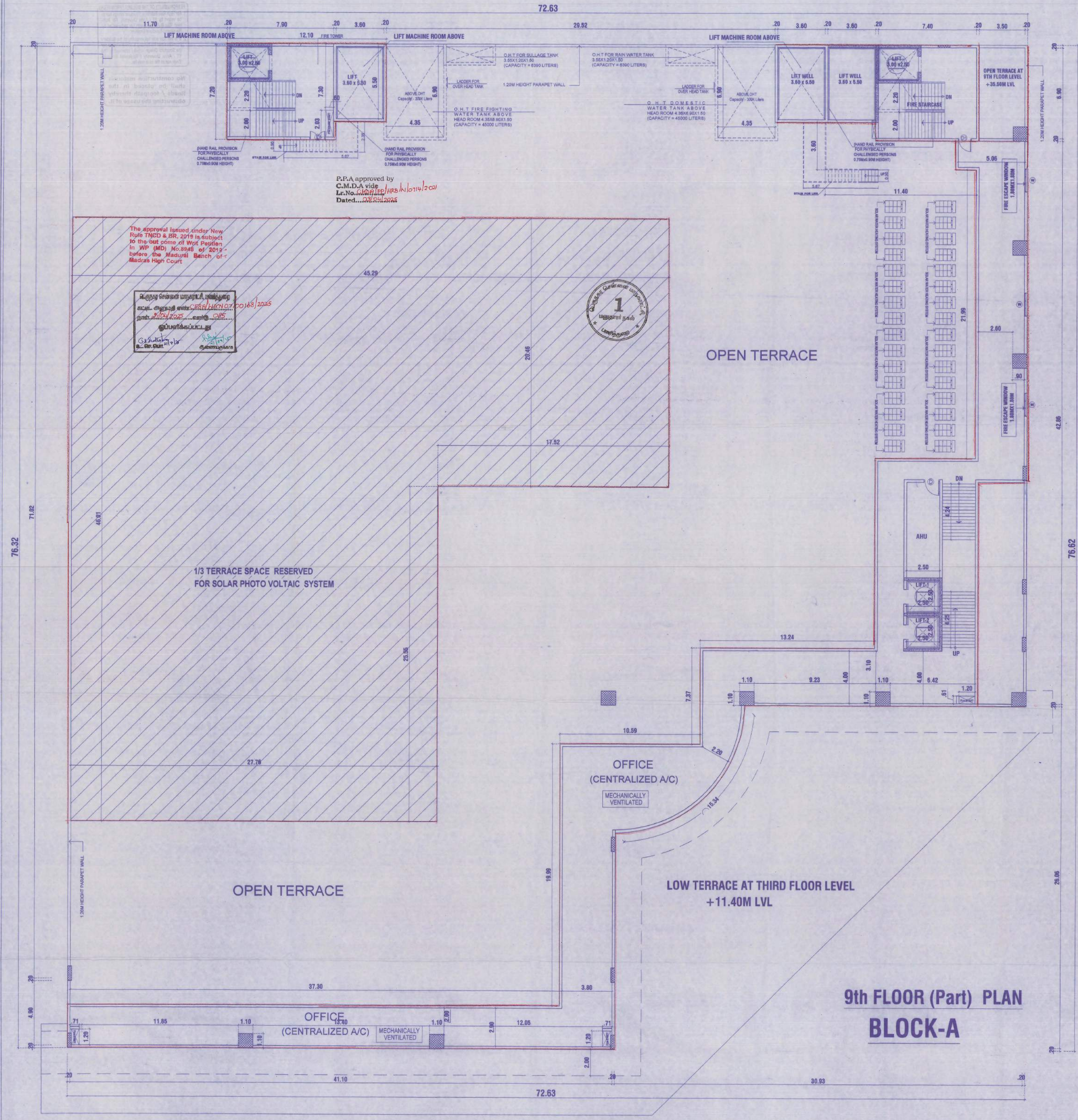
Dr. J. SURESH, M.E., M.E., P.D.
 Structural Engineer
 Plot No. 555, VSP Layout, Adambakkam,
 Chennai - 600 021.
 Reg. No. 101/2024/2/2024
 Reg. No. 105/2020/2/2020

STRUCTURAL SIGNATURE :-

Dr. J. SURESH, M.E., M.E., P.D.
 Structural Engineer
 Plot No. 555, VSP Layout, Adambakkam,
 Chennai - 600 021.
 Reg. No. 101/2024/2/2024
 Reg. No. 105/2020/2/2020

ARCHITECTS SIGNATURE :-

6th FLOOR PLAN
BLOCK-A8th FLOOR PLAN
BLOCK-A



SHEET NO : 06 / 12

PLAN SHOWING THE PROPOSED CONSTRUCTION OF GROUP DEVELOPMENT OF HIGH RISE COMMERCIAL BUILDINGS WITH 2 BLOCKS IN WHICH BLOCK - A: WITH EXTENDED BASEMENT FLOOR (MEANT FOR PARKING) + GROUND FLOOR + 1ST FLOOR TO 7TH FLOOR (FOR RETAIL SHOP USE) + 8TH FLOOR & 9TH FLOOR PART ARE FOR OFFICE SUE BUILDING, BLOCK - B: BASEMENT FLOOR (STP, SUMP & PUMP ROOM)+ STILT FLOOR (MEANT FOR PARKING) + 1ST FLOOR (DINING HALL) + 2ND FLOOR TO 8TH FLOOR FOR DORMITORY USE AND MLCP (9 LEVEL WITH CAR PARKING 192 NOS) ABUTTING C.T.H.ROAD (FORMERLY M.T.H. ROAD) PADI, CHENNAI - 600 050, COMPRISED IN OLD S. NO: 3/1, 4/1 & 2 OF KAKAPALLAM VILLAGE, T.S.NOS:44/2, 44/3, 45/1 & 46/2, BLOCK NO:81, WARD - E OF AMBATTUR TOWN, AMBATTUR TALUK, THIRUVALLUR DISTRICT, WITHIN THE LIMITS OF GREATER CHENNAI CORPORATION, ZONE - VII, DIVISION - 84.

SPECIFICATIONS

1. R.C.C COLUMN FOOTING OR PILES IN FOUNDATION.
2. COLUMNS ARE CONNECTED BY PUNTH BEAMS.
3. MOBAND FLOORING / SPARTAX FLOORING.
4. BRICK WORK IN BASEMENT AND SUPER STRUCTURE IN CM 1:5.
5. WALLS ARE PLASTERED BY CEMENT PLASTER.
6. JOINERY WORK IN TEAK AND COUNTRY WOOD.
7. LINTEL OVER OPENING.
8. ROOF COVERED BY R.C.C SLAB.
9. ALL R.C.C WORK IN CEMENT CONCRETE M-25
10. WEATHERING COURSE LAID WITH PROPER SLOPE OVER R.C SLAB.

JOINERYDETAIL

D	DOOR	1.20 x 2.44
D1	DOOR	1.00 x 2.44
D2	DOOR	0.70 x 2.44
FD	DOOR	1.20 x 2.90
V	VENTILATOR	1.00 x 1.00

SCALE - 1 : 100

ALL DIMENSION ARE IN METRE

COLOR INDEX :-

PROPOSED

BOUNDARY

ROAD

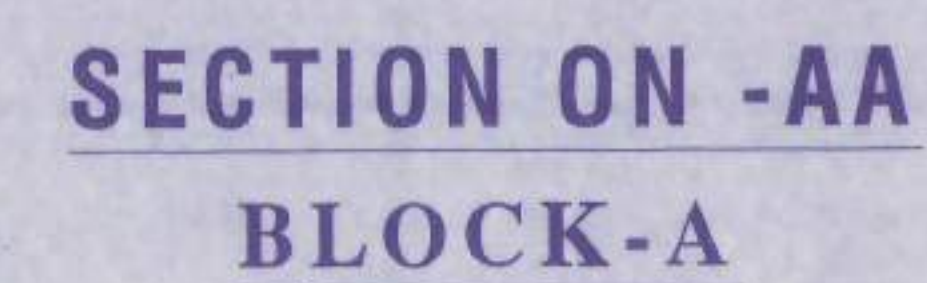
LESSEE SIGNATURE :-

Dr. J. SURESH, M.E., MIE., Ph.D.
Structural Engineer
Flat No. 555, VGP Layout, Padi Street,
Uthandi, Chennai - 600 115.
Reg. No. 12/2014/72/0514
Reg. No. 12/2015/1011011
Reg. No. 12/2014/07/005

STRUCTURAL SIGNATURE :-

ARCHITECTS SIGNATURE:-

M. SATHYANARAYAN
Civil Engineer
VGP Road, No. 555, VGP Layout, Padi Street,
Uthandi, Chennai - 600 115.
Reg. No. 12/2014/72/0514
Reg. No. 12/2015/1011011
Reg. No. 12/2014/07/005



PLAN SHOWING THE PROPOSED CONSTRUCTION OF GROUP DEVELOPMENT OF HIGH RISE COMMERCIAL BUILDINGS WITH 2 BLOCKS IN WHICH BLOCK- A: WITH EXTENDED BASEMENT FLOOR (MEANT FOR PARKING) + GROUND FLOOR + 1ST FLOOR TO 7TH FLOOR (FOR RETAIL SHOP USE) + 8TH FLOOR & 9TH FLOOR PART ARE FOR OFFICE USE BUILDING, BLOCK - B: BASEMENT FLOOR (STP, SUMP & PUMP ROOM) + STILT FLOOR (MEANT FOR PARKING) + 1ST FLOOR (DINING HALL) + 2ND FLOOR TO 8TH FLOOR FOR DORMITORY USE AND MLCP (9 LEVEL WITH CAR PARKING 192 NOS) ABUTTING C.T.H.ROAD (FORMERLY M.T.H. ROAD) PADI, CHENNAI - 600 050, COMPRISED IN OLD S.NO:3/1,4/1&2 OF KAKAPALLAM VILLAGE, T.S.NOS:44/2, 44/3,45/1 & 46/2, BLOCK NO:81, WARD - E OF AMBATTUR TOWN, AMBATTUR TALUK, THIRUVALLUR DISTRICT, WITHIN THE LIMITS OF GREATER CHENNAI CORPORATION, ZONE - VII, DIVISION - 84.

SPECIFICATIONS

1. R.C.C COLUMN FOOTING OR PILES IN FOUNDATION.
2. COLUMNS ARE CONNECTED BY PLINTH BEAMS.
3. MOSAIC FLOORING / SPARTAX FLOORING.
4. BRICK WORK IN BASEMENT AND SUPER STRUCTURE IN C.M.1:5.
5. WALLS ARE PLASTERED BY CEMENT PLASTER.
6. JOINERY WORK IN TEAK AND COUNTRY WOOD.
7. LINTEL OVER OPENING.
8. ROOF COVERED BY R.C.C SLAB.
9. ALL R.C.C WORK IN CEMENT CONCRETE M-25.
10. WEATHERING COURSE LAID WITH PROPER SLOPE OVER R.C SLAB.

SCALE - 1 : 100

ALL DIMENSION ARE IN METRE

COLOR INDEX :-

PROPOSED

BOUNDARY

ROAD

NOTE :

— MULTI TYPE FIRE FIGHTER

— FIRE EXTINGUISHER

FOR ADV'S PROPERTY DEVELOPERS PVT. LTD.

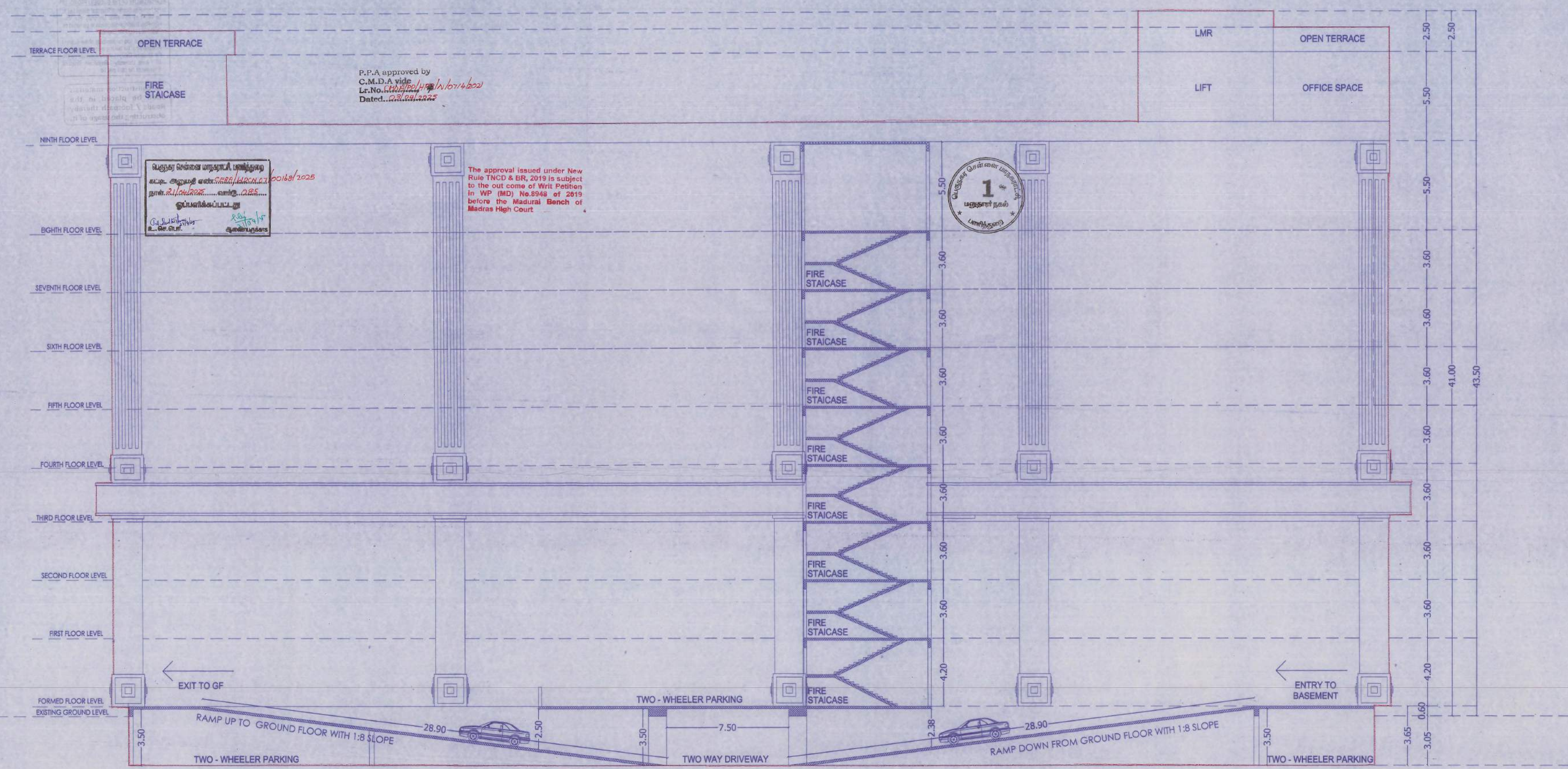
LESSEE SIGNATURE :-

Dr. J. SURESH, M.E., M.B., Ph.D.
Structural Engineer
PCC No. 555, VGP Layout, Madhav Street,
Uttarakhand, Chennai - 600 135,
Reg. No. SE/1/2024/12/0014
Rep. No. PCC/2024/0109
Rep. No. CCLD/2024/01/005

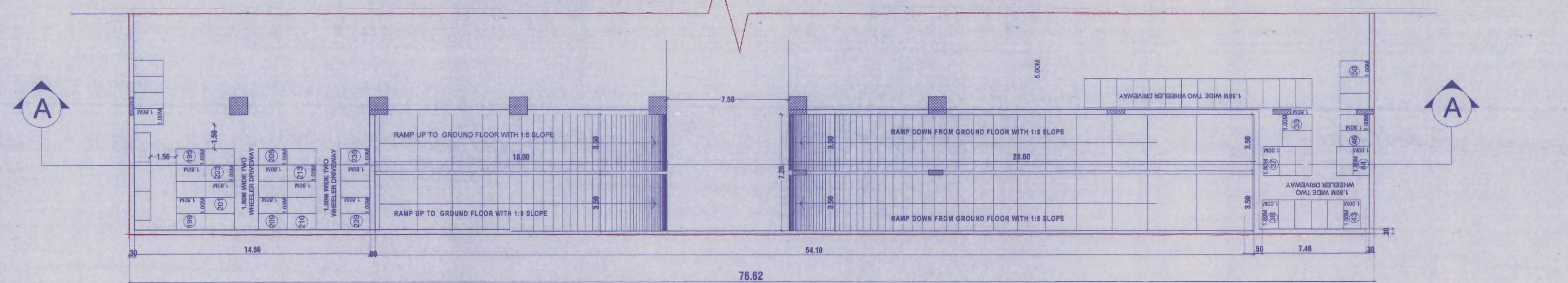
STRUCTURAL SIGNATURE :-

H. RAJAN, M.E., M.B., Ph.D.
CMAA Regd No. RA-11600214
OTOP Regd. No. CCLD/2024/01/005
G.C.C. No. RA/01282019
Rep. No. CA/2024/01/005
Post No.41, Kanungo Nagar,
Puducherry, Chennai-605 006.
Ph:917600000
Email:rajah@rajahengg.com

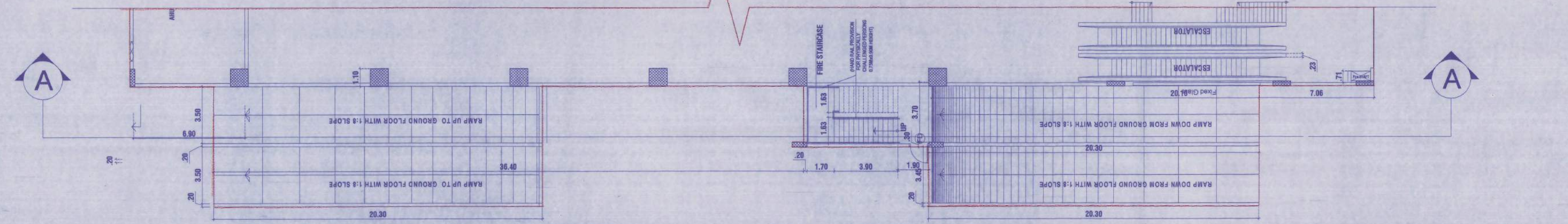
ARCHITECTS SIGNATURE:-



RAMP SECTION



GROUND FLOOR PLAN (PART)



BASEMENT FLOOR PLAN(PART)

The approval issued under New Rule INCD & BR, 2019 is subject to the outcome of Writ Petition in WP (MD) No.8948 of 2019 before the Madras High Court.

P.P.A approved by
C.M.D.A vide
Lr.No. CMDB/PA/107/14/2021
Dated: 03/04/2025

SHEET - 09 / 12

PLAN SHOWING THE PROPOSED CONSTRUCTION OF GROUP DEVELOPMENT OF HIGH RISE COMMERCIAL BUILDINGS WITH 2 BLOCKS IN WHICH BLOCK- A: WITH EXTENDED BASEMENT FLOOR (MEANT FOR PARKING) + GROUND FLOOR + 1ST FLOOR TO 7TH FLOOR (FOR RETAIL SHOP USE) + 8TH FLOOR & 9TH FLOOR PART ARE FOR OFFICE SUE BUILDING, BLOCK - B: BASEMENT FLOOR (STP, SUMP & PUMP ROOM)+ STILT FLOOR (MEANT FOR PARKING) + 1ST FLOOR (DINING HALL) + 2ND FLOOR TO 8TH FLOOR FOR DORMITORY USE AND MLCP (9 LEVEL WITH CAR PARKING 192NOS) ABUTTING C.T.H.ROAD (FORMERLY M.T.H. ROAD) PADI, CHENNAI - 600 050, COMPRISED IN OLD S.NO:3/1,4/1&2 OF KAKAPALLAM VILLAGE, T.S.NOS:44/2, 44/3,45/1 & 46/2, BLOCK NO:81, WARD - E OF AMBATTUR TOWN, AMBATTUR TALUK, THIRUVALLUR DISTRICT, WITHIN THE LIMITS OF GREATER CHENNAI CORPORATION, ZONE - VII, DIVISION - 84.

SPECIFICATIONS

1. R.C.C COLUMN, FOOTING OR PILES IN FOUNDATION.
2. COLUMNS ARE CONNECTED BY PLINTH BEAMS.
3. MOSAIC FLOORING / SPARTAX FLOORING.
4. BRICK WORK IN BASEMENT AND SUPER STRUCTURE IN C.M 1:5.
5. WALLS ARE PLASTERED BY CEMENT PLASTER.
6. JOINERY WORK IN TEAK AND COUNTRY WOOD.
7. LINTEL OVER OPENING.
8. ROOF COVERED BY R.C.C SLAB.
9. ALL R.C.C WORK IN CEMENT CONCRETE M-25.
10. WEATHERING COURSE LAID WITH PROPER SLOPE OVER R.C.C SLAB.

JOINERY DETAIL

ED	DOOR	1.83 x 2.13
D1	DOOR	0.91 x 2.13
D2	DOOR	0.76 x 2.13
W	WINDOW	1.83 x 1.37
V1	VENTILATOR	1.00 x 1.00
V2	VENTILATOR	1.00 x 0.60

SCALE - 1 : 100

ALL DIMENSION ARE IN METRE

COLOR INDEX :-

PROPOSED

BOUNDARY

ROAD

NOTE:

— MULTI TYPE FIRE FIGHTER

— FIRE EXTINGUISHER

LESSEE SIGNATURE :-

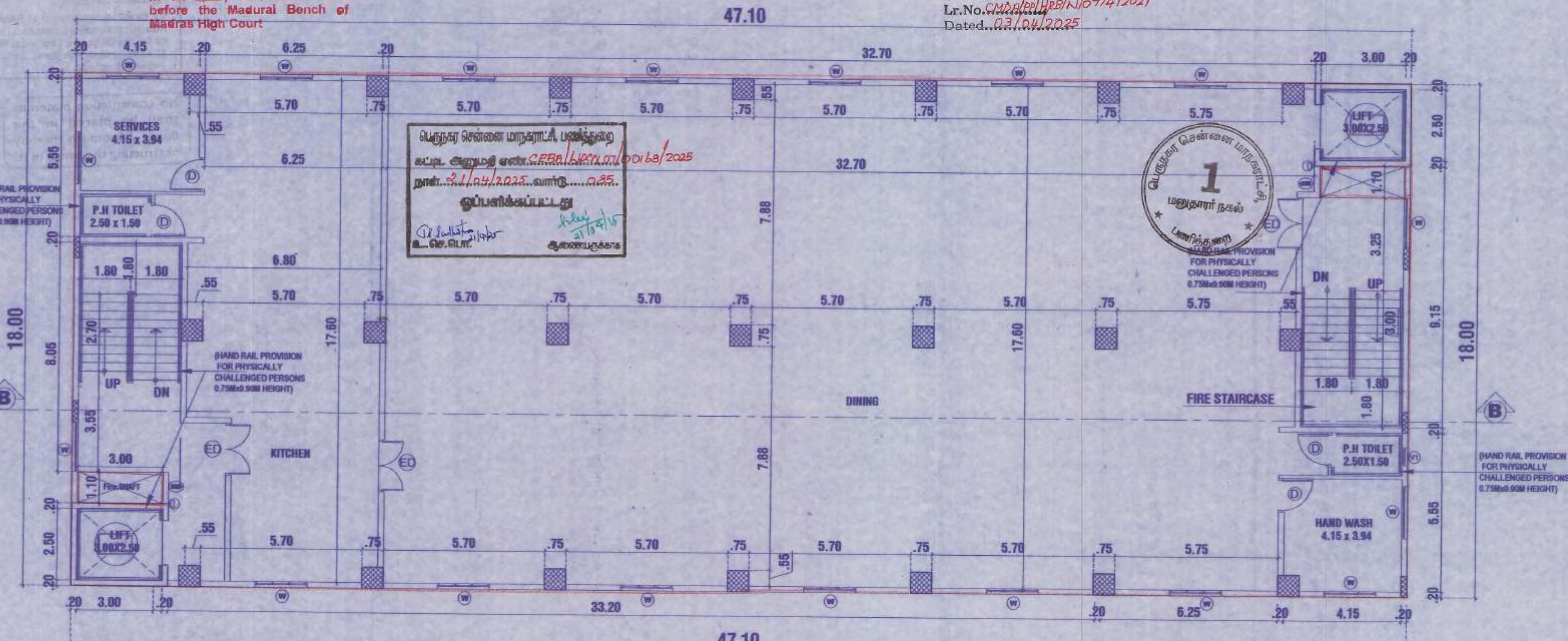
Dr. J. SURESH, M.E., MIE., Ph.D.
Structural Engineer
Plot No. 555, VGP Layout, Mulla Street,
Uthandi, Chennai - 600 119.
Reg. No. SE/1/2024/2/0014
Reg. No. RSE/00302019
Reg. No. CE/1/2024/2/0014

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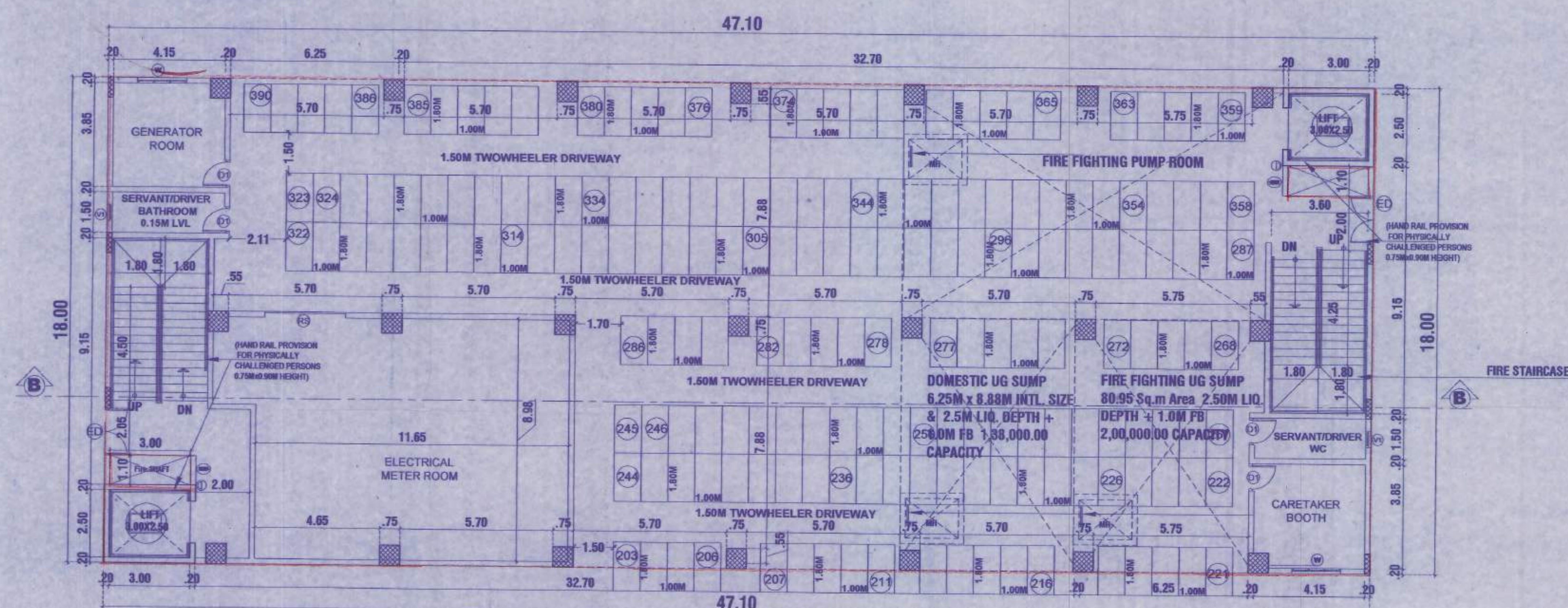
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CMDA Regd No: RA/01/1805/218
OTCP Regd. No: CGLR/NRA/G-3/2019/12/060
O.C.C. No: RA/01/1805/218
Regn. No: CA/201807819
Plot No. 48, Kamaraj Nagar,
Periyas Manthar, Chennai-600 068.
Ph: 9171509007
Email: shreekanthnagar@gmail.com

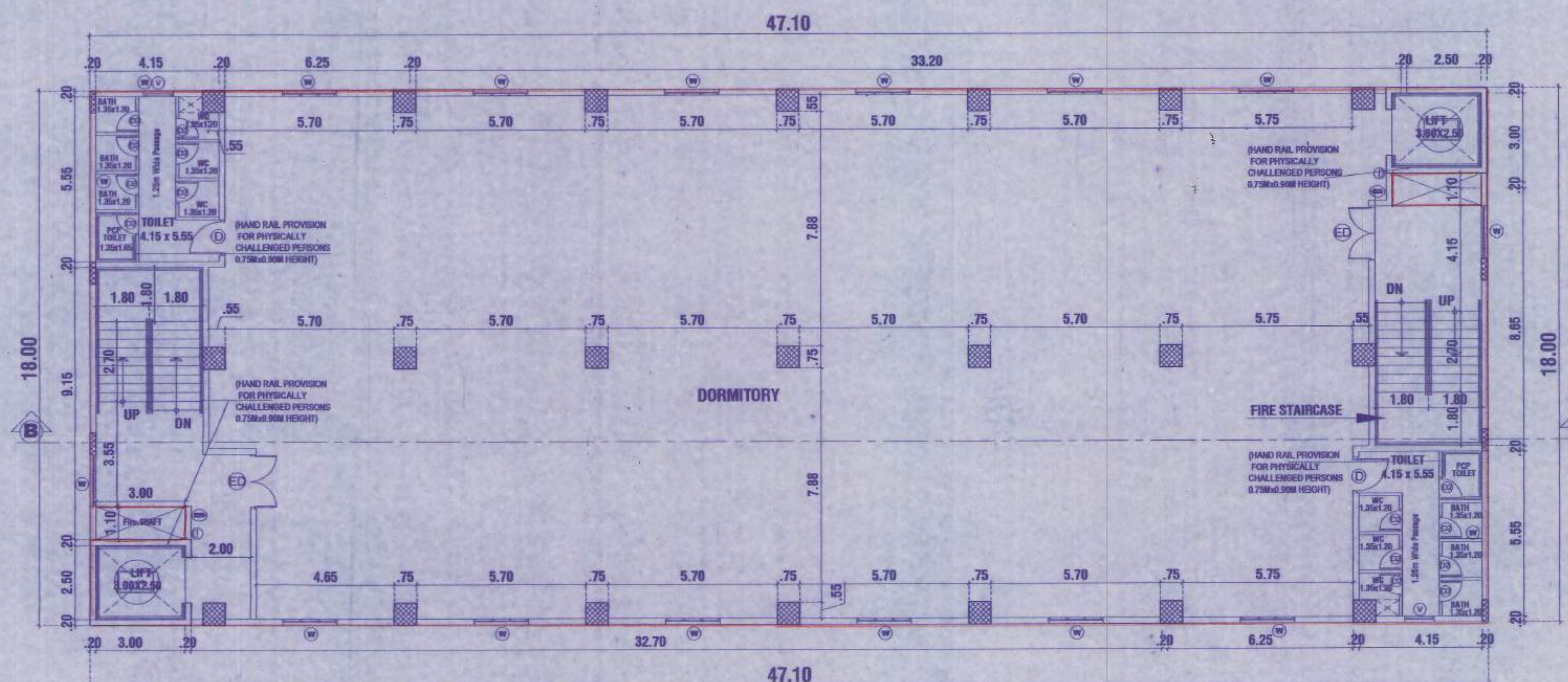
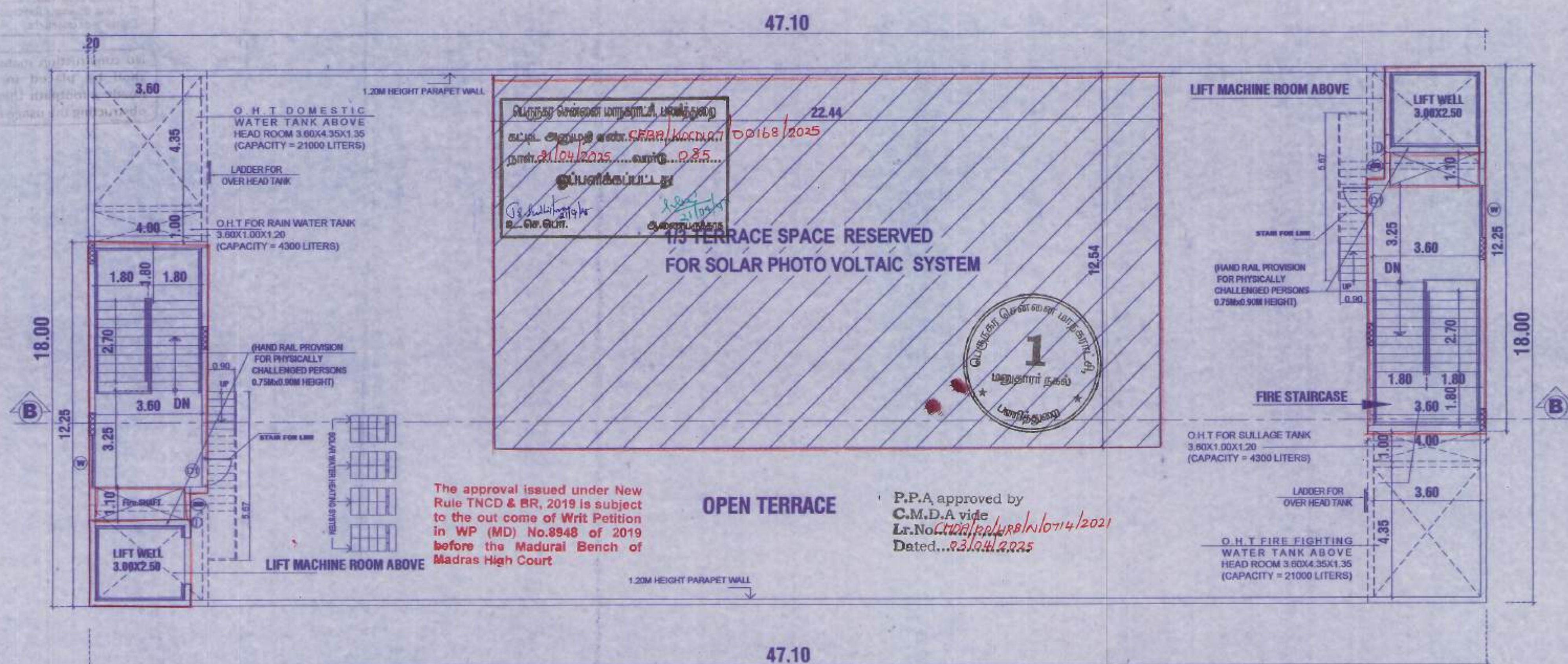
ARCHITECTS SIGNATURE:-

FIRST FLOOR PLAN
BLOCK-B



STILT FLOOR PLAN
BLOCK-B





SHEET - 10 / 12

PLAN SHOWING THE PROPOSED CONSTRUCTION OF GROUP DEVELOPMENT OF HIGH RISE COMMERCIAL BUILDINGS WITH 2 BLOCKS IN WHICH BLOCK - A: WITH EXTENDED BASEMENT FLOOR (MEANT FOR PARKING) + GROUND FLOOR + 1ST FLOOR TO 7TH FLOOR (FOR RETAIL SHOP USE) + 8TH FLOOR & 9TH FLOOR PART ARE FOR OFFICE SUE BUILDING, BLOCK - B: BASEMENT FLOOR (STP, SUMP & PUMP ROOM)+ STILT FLOOR (MEANT FOR PARKING) + 1ST FLOOR (DINING HALL) + 2ND FLOOR TO 8TH FLOOR FOR DORMITORY USE AND MLCP (9 LEVEL WITH CAR PARKING 192NOS) ABUTTING C.T.H.ROAD (FORMERLY M.T.H. ROAD) PADI, CHENNAI - 600 050, COMPRISED IN OLD S.NO:3/1,4/1&2 OF KAKAPALLAM VILLAGE, T.S.NOS:44/2, 44/3,45/1 & 46/2, BLOCK NO:81, WARD - E OF AMBATTUR TOWN, AMBATTUR TALUK, THIRUVALLUR DISTRICT, WITHIN THE LIMITS OF GREATER CHENNAI CORPORATION, ZONE - VII, DIVISION - 84.

SPECIFICATIONS

1. R.C.C COLUMN FOOTING OR PILES IN FOUNDATION.
2. COLUMNS ARE CONNECTED BY PLINTH BEAMS.
3. MOSAIC FLOORING / SPARTAX FLOORING.
4. BRICK WORK IN BASEMENT AND SUPER STRUCTURE IN C.M 1:5.
5. WALLS ARE PLASTERED BY CEMENT PLASTER.
6. JOINERY WORK IN TEAK AND COUNTRY WOOD.
7. UNTEL OVER OPENING.
8. ROOF COVERED BY R.C.C SLAB.
9. ALL R.C.C WORK IN CEMENT CONCRETE M-25
10. WEATHERING COURSE LAID WITH PROPER SLOPE OVER R.C.C SLAB.

JOINERY DETAIL

ED	DOOR	1.83 x 2.13
D1	DOOR	0.91 x 2.13
D2	DOOR	0.76 x 2.13
W	WINDOW	1.83 x 1.37
V1	VENTILATOR	1.00 x 1.00
V2	VENTILATOR	1.00 x 0.60

SCALE - 1 : 100

ALL DIMENSION ARE IN METRE

COLOR INDEX :-

PROPOSED

BOUNDARY

ROAD

NOTE:

— MULTI TYPE FIRE FIGHTER

— FIRE EXTINGUISHER

LESSEE SIGNATURE :-

STRUCTURAL SIGNATURE :-

ARCHITECTS SIGNATURE:-

P.P.A approved by
C.M.D.A vide
Lr.No. 100/100/2021/07/4/2021
Dated... 03/04/2025

TOP ROOF LEVEL

HEAD ROOM LEVEL

TERRACE FLOOR LEVEL

EIGHTH FLOOR LEVEL

SEVENTH FLOOR LEVEL

SIXTH FLOOR LEVEL

FIFTH FLOOR LEVEL

FOURTH FLOOR LEVEL

THIRD FLOOR LEVEL

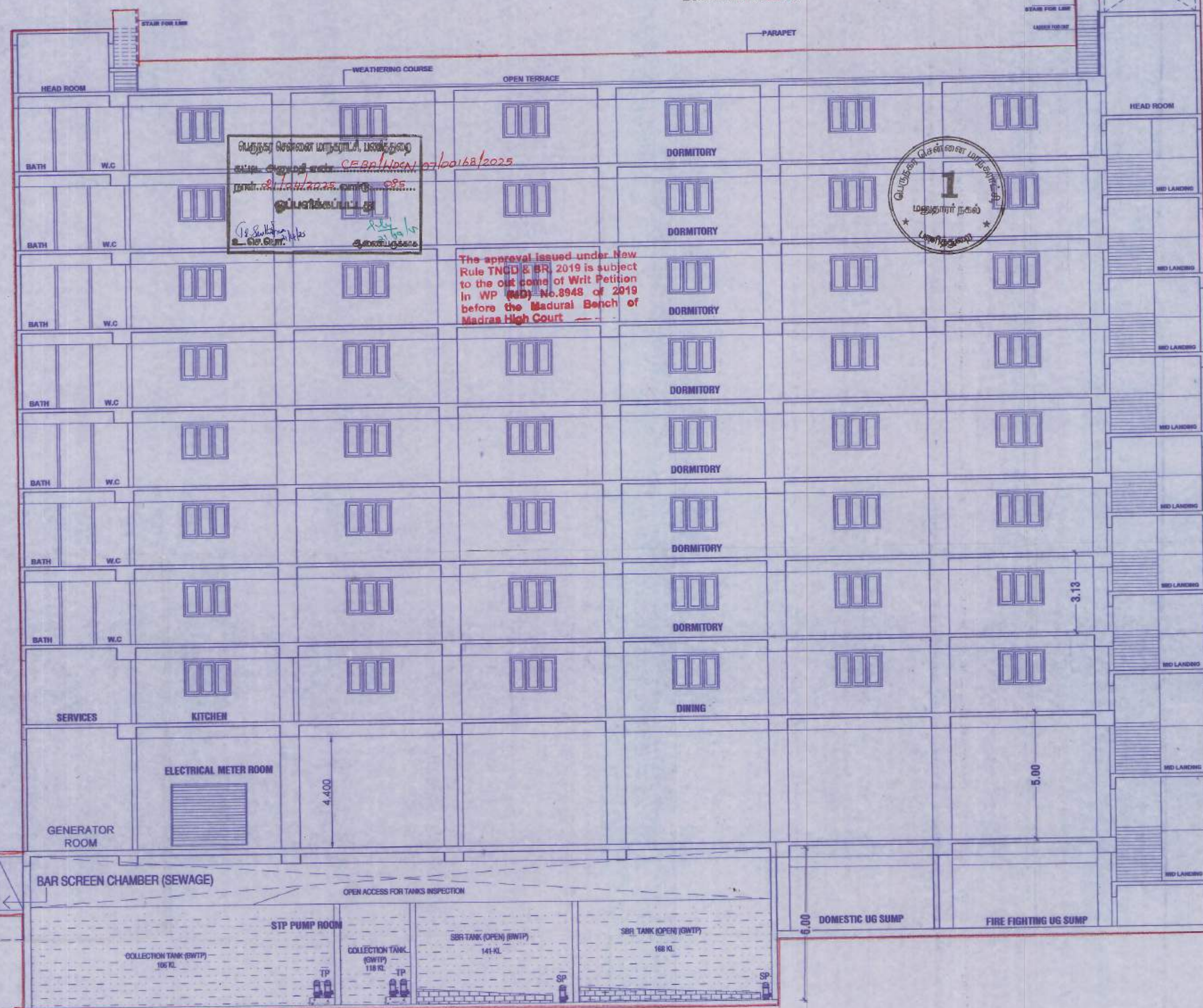
SECOND FLOOR LEVEL

FIRST FLOOR LEVEL

STILT FLOOR LEVEL

BASEMENT FLOOR LEVEL

STP ROOM FLOOR LEVEL



SECTION ON-BB
BLOCK-B

PLAN SHOWING THE PROPOSED CONSTRUCTION OF GROUP DEVELOPMENT OF HIGH RISE COMMERCIAL BUILDINGS WITH 2 BLOCKS IN WHICH BLOCK- A: WITH EXTENDED BASEMENT FLOOR (MEANT FOR PARKING) + GROUND FLOOR + 1ST FLOOR TO 7TH FLOOR (FOR RETAIL SHOP USE) + 8TH FLOOR & 9TH FLOOR PART ARE FOR OFFICE SUE BUILDING, BLOCK - B: BASEMENT FLOOR (STP, SUMP & PUMP ROOM) + STILT FLOOR (MEANT FOR PARKING) + 1ST FLOOR (DINING HALL) + 2ND FLOOR TO 8TH FLOOR FOR DORMITORY USE AND MLCP (9 LEVEL WITH CAR PARKING 192 NOS) ABUTTING C.T.H.ROAD (FORMERLY M.T.H. ROAD) PADI, CHENNAI - 600 050, COMPRISED IN OLD S.NO:3/1,4/1&2 OF KAKAPALLAM VILLAGE, T.S.NOS:44/2, 44/3,45/1 & 46/2, BLOCK NO:81, WARD - E OF AMBATTUR TOWN, AMBATTUR TALUK, THIRUVALLUR DISTRICT, WITHIN THE LIMITS OF GREATER CHENNAI CORPORATION, ZONE - VII, DIVISION - 84.

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JOINERY DETAIL

D1	DOOR	2.44 x 2.13
D2	DOOR	1.83 x 2.13
D3	DOOR	1.22 x 2.13
D4	DOOR	0.91 x 2.13
W1	WINDOW	2.44 x 1.37
W2	WINDOW	1.83 x 1.37
V1	VENTILATOR	2.44 x 0.60
V2	VENTILATOR	1.22 x 0.60

SCALE - 1 : 100

ALL DIMENSION ARE IN METRE

COLOR INDEX :-

PROPOSED

BOUNDARY

ROAD

NOTE:

— MULTI TYPE FIRE FIGHTER

— FIRE EXTINGUISHER

For KVPS PROPERTY DEVELOPERS PVT. LTD

Director

LESSEE SIGNATURE :-

Dr. J. SURESH, M.E., M.I.E., Ph.D.
Structural Engineer
Plot No. 553, VCP Layout, Mullai Street,
Uthandi, Chennai - 600 139,
Reg. No. SE/1/2014/2/0014
Reg. No. RSE100302019
Reg. No. COL0157/SE/Gr-I/2024/07/005

STRUCTURAL SIGNATURE :-

H. SATHAKUR ROOHI
CMDA Regd No. RA/Gr. I/19/05218
OTCP Regd. No. COLRGN/RA/Gr. I/2019/12060
G.C.C. No. RA/10/180019
Regn. No. CA/2015/87818
Plot No. 48, Kamarej Nagar,
Periya Mathur, Chennai-600 068.
Ph: 9171809007
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ARCHITECTS SIGNATURE:-