

PLAN SHOWING THE PROPOSED CONSTRUCTION OF RESIDENTIAL BUILDING AT PLOT No. 21 , VETRI NAGAR, KORATTUR, CHENNAI, COMPRISED IN AS PER PATT A S.NO. 598 / 1B1A Part , 1B1A2 , 1B1A3 , 1B1A4 , 2B Part , 598 / 1A1B , AS PER PATT A NEW TOWN SURVEY NO.3/16, BLOCK NO- 21, WARD -E OF KORATTUR VILLAGE , AMBATTUR TALUK, GREATER CHENNAI CORPORATION, DIVISION - 83,ZONE - VII.

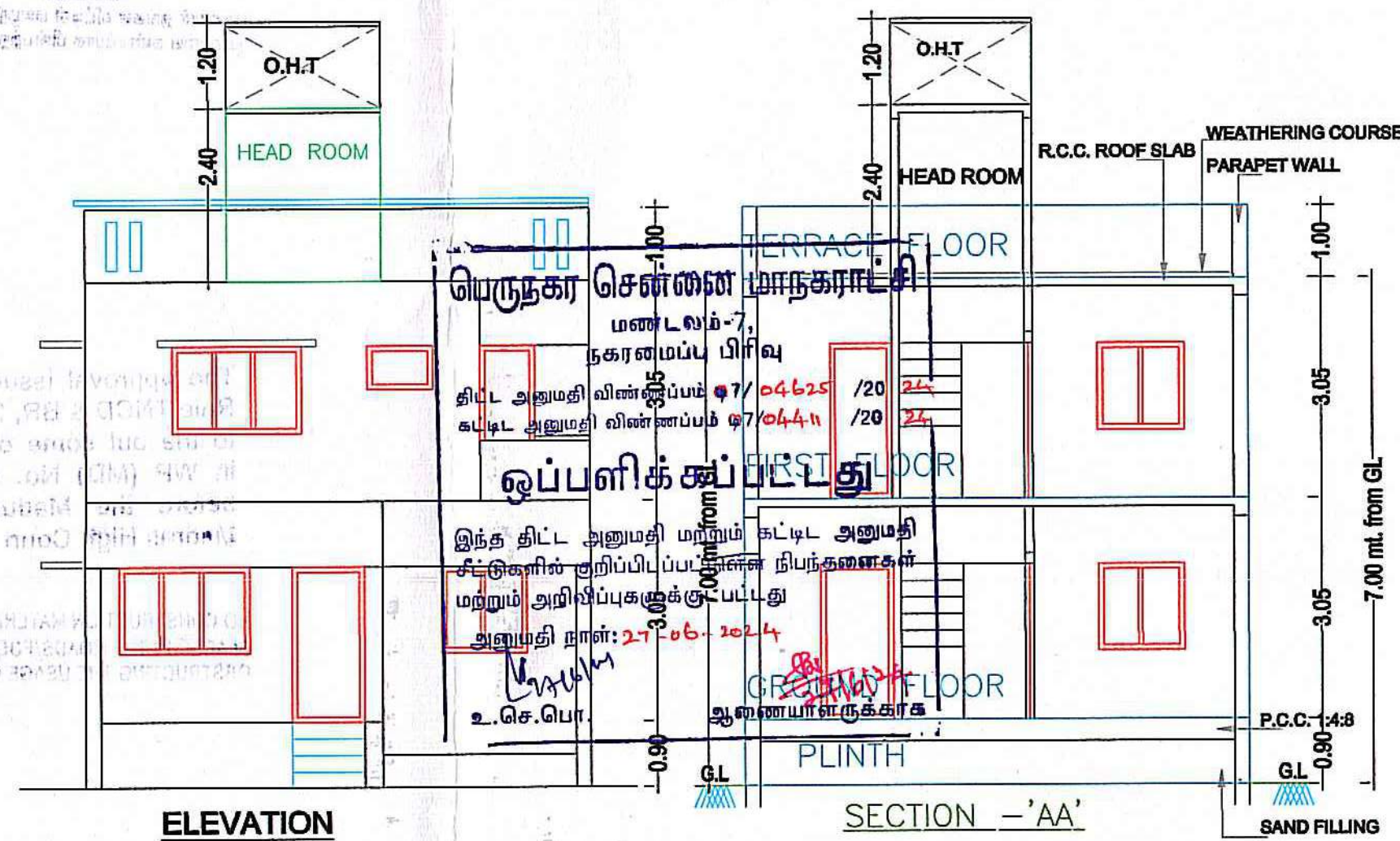
SPECIFICATIONS

BRICK WORK IN C M 1:5 FOR SUPER STRUCTURE & BASEMENT R.C.C [M25] FOR COLUMN, PLINTH BEAM LINTEL, SUNSHADE & ROOF SLAB & FLOOR FINISHING IN C M 1:3 PLASTERING THE WALL IN C.M 1:4 OUTSIDE AND INSIDE IN 12 mm THICK WEATHERING COURSE WITH TWO LAYERS OF FLAT TILES LAID IN C M 1:4 WHITE AND COLOUR WASHING FOR WALLS&CEILING

ELECTRICAL SPECIFICATIONS

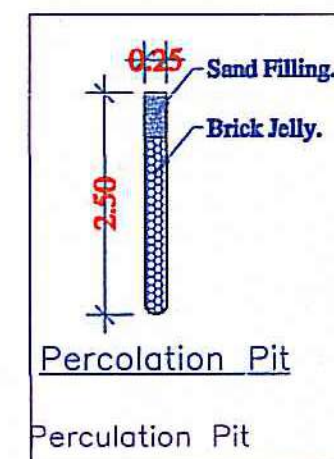
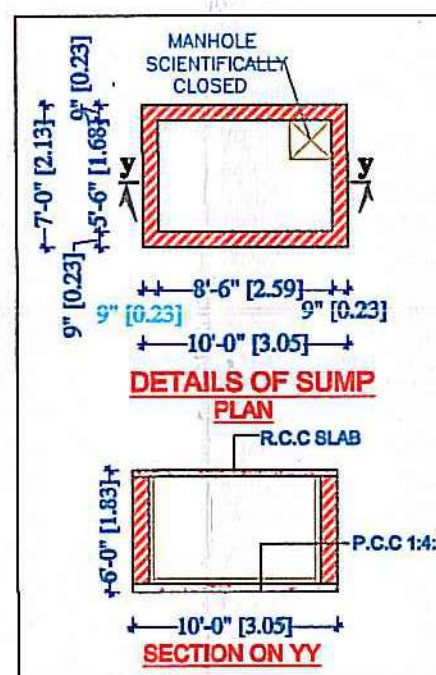
1. FIRE RETARDING CABLE TO BE USED.
2. ENERGY EFFICIENT BULB WILL BE USED.
3. NECESSARY CIRCUIT BREAKERS TO BE USED.

General Specification



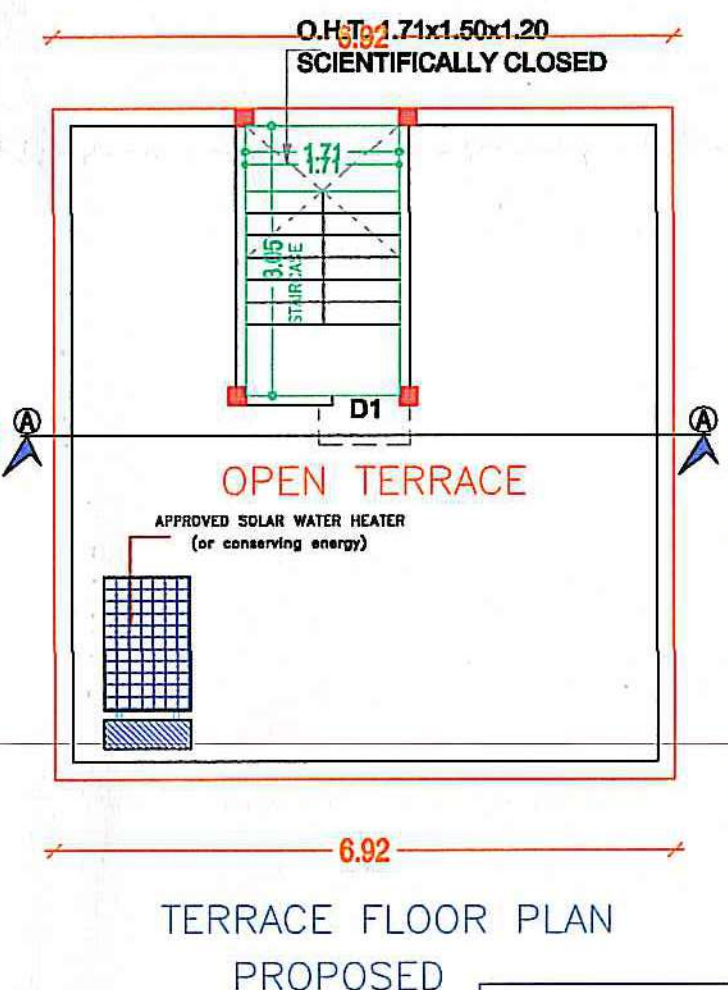
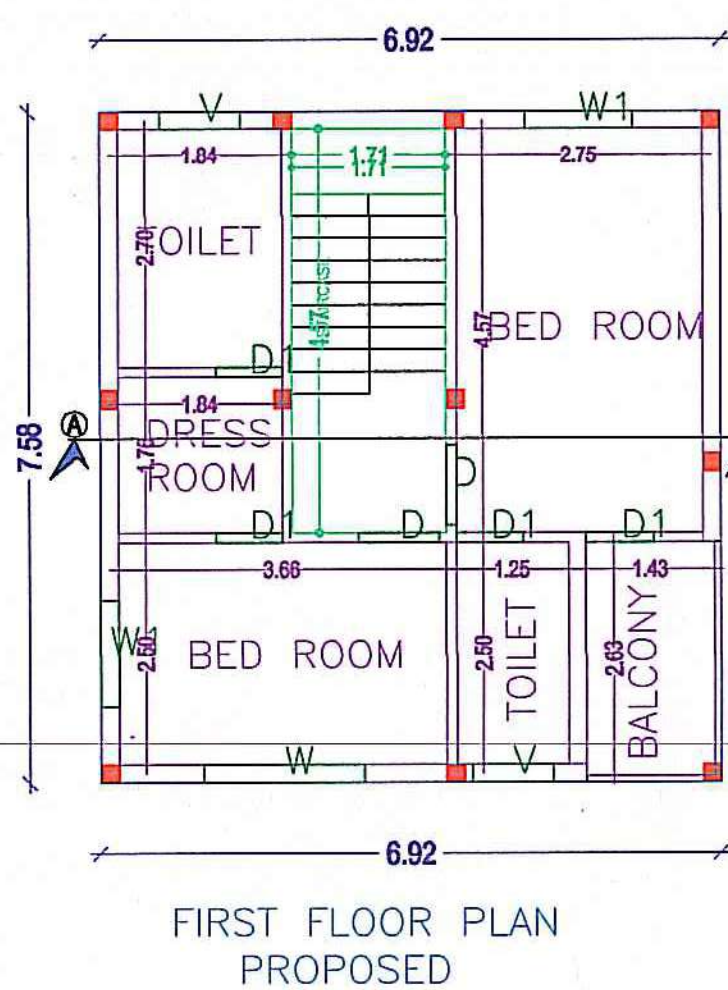
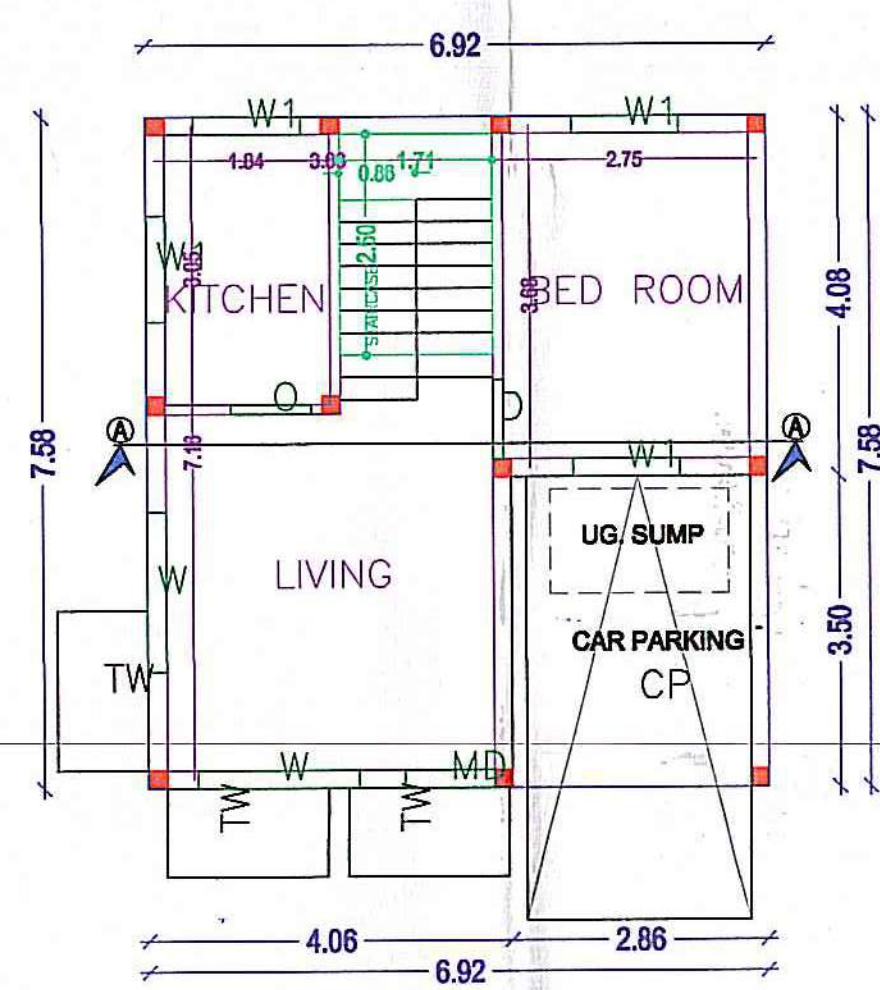
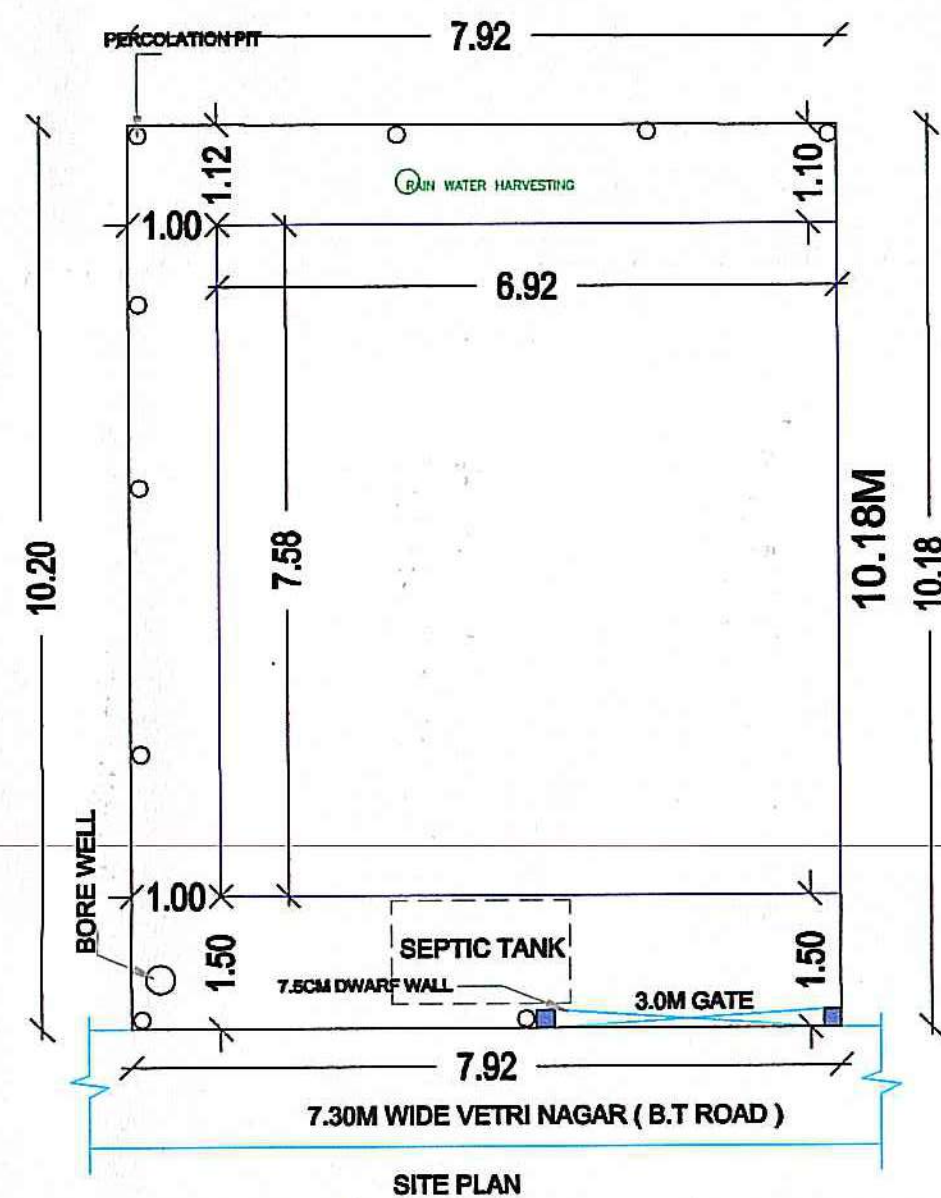
NOTE:-

LAYOUT APPROVED No. SD/WDCN07/00457/2023 DATED:- 06/10/2023



KEY PLAN

NOT TO SCALE



SCHEDULE OF JOINERY:

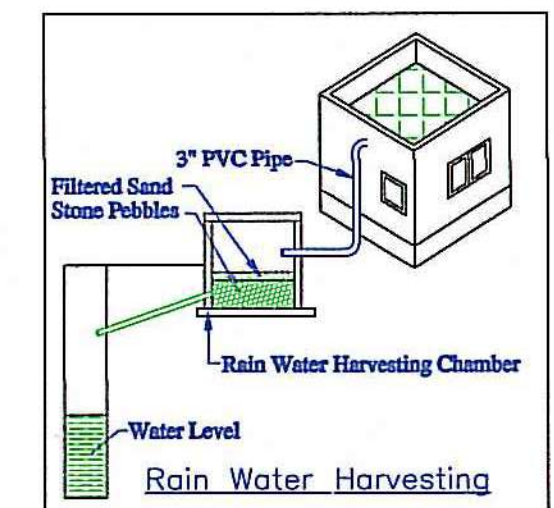
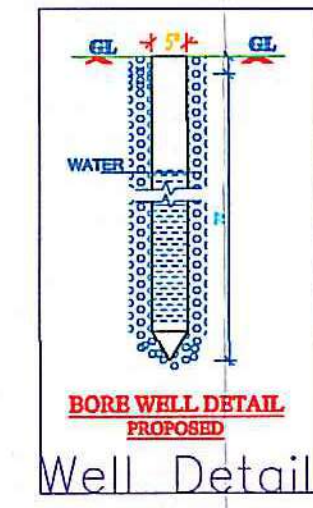
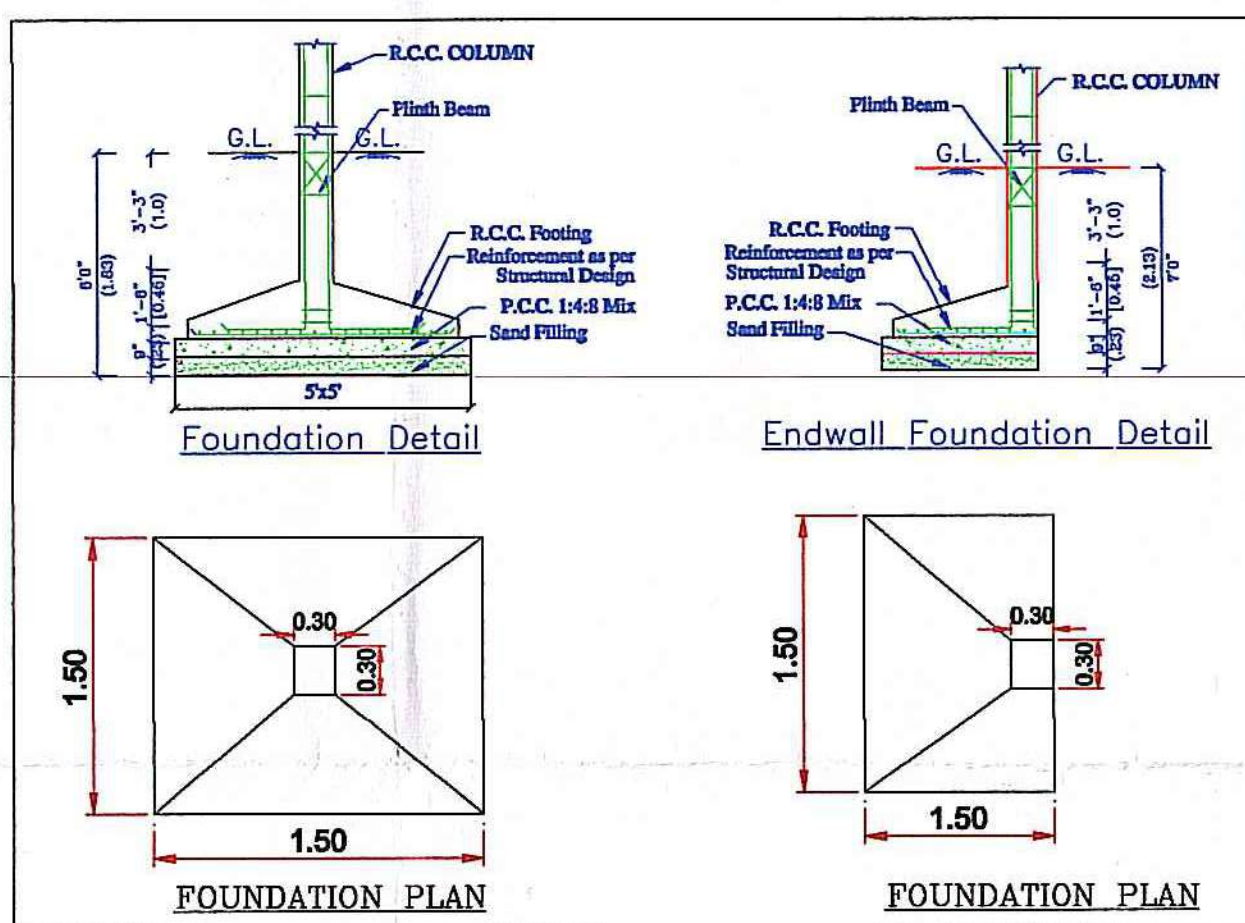
NAME	LENGTH	HEIGHT	NOS.
D1	0.75	2.10	04
D	0.90	2.10	03
O	0.90	2.10	01
MD	1.00	2.10	01

FLOORWISE FSI STATEMENT FOR:

FLOORS	FSI AREA					BALCONY ARCH. PROJ.	TOTAL FSI AREA	BALCONY (Free from FSI)	STAIR	LIFT	LIFT M/C SUB ROOM STRUCT.	PARKING	TOTAL BUILTUP	TENE.
	Existing	COMM.	RESI.	IND	SPEC.									
TERRACE FLOOR	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	5.22	-	-	0.00	0.00	0
FIRST FLOOR	0.00	0.00	52.42	0.00	0.00	0.00	52.42	0.00	-	-	-	0.00	52.42	0
GROUND FLOOR	0.00	0.00	52.42	0.00	0.00	0.00	52.42	0.00	-	-	-	0.00	52.42	1
Total	0.00	0.00	104.84	0.00	0.00	0.00	104.84	0.00	5.22	-	-	0.00	110.06	1

SCHEDULE OF JOINERY:

NAME	LENGTH	HEIGHT	NOS.
V	0.90	0.60	02
W1	1.20	1.20	06
W	1.80	1.20	03



AREA STATEMENT (COC)

VERSION NO.: 1.02
VERSION DATE: 09/12/2019

PROJECT DETAIL

File No.:	COC/8397/24
Case Type:	New
Type of Proposal:	Primary Residential
Category:	Ordinary Bldg
Zone:	Zone-07
Survey No.:	T.S.No.3/16
Land Use Zone:	Detached Area
Name of Road:	VETRI NAGAR
Plot No.:	21
Door No.:	-
Division:	Div - 083
Survey Village:	KORATTUR

AREA DETAILS

	SQ.MT.
PLOT AREA AS PER PATT A	80.81
PLOT AREA AS PER DOCUMENT	80.81
PLOT AREA AS PER SITE	80.81
PLOT AREA AS PER DRAWING	80.71
PLOT AREA CONSIDERED FOR SCRUTINY	(A) 80.71
BALANCE AREA OF PLOT	(B) 80.71
NET AREA OF PLOT	(C) 80.71
NET BALANCE AREA OF PLOT	(D) 80.71
MAX. PERMISSIBLE COVERAGE AREA	-
Proposed Coverage Area	52.42
Total Proposed Coverage Area	(64.95%) 52.42
BALANCE COVERAGE AREA	-
PERMISSIBLE FSI AREA	2.00 161.41
PREMIUM FSI AREA	-
MAX. PERMISSIBLE FSI AREA	2.00 161.41
Residential FSI	104.84
Proposed Floor (FSI) Area	104.84
TOTAL PROPOSED FSI AREA	104.84
CONSUMED FSI	1.30
TOTAL PROP. BUILT UP AREA	110.06

COLOR INDEX

PLOT BOUNDARY	
ABUTTING ROAD	
PROPOSED WORK (COVERAGE AREA)	
EXISTING (To be retained)	
EXISTING (To be demolished)	

For PAWAN CASTLES PRIVATE LIMITED

Director.

SIGNATURE OF OWNER

Er. JALEX CHRISTOPHER U.E. M.B.A. M.Sc. (N)

REGISTERED ENGINEER No. 200282019
GREATER CHENNAI CORPORATION
No. 1, Ganapathy Nagar, Kolathur,
Chennai - 600 089.
Mob: 94449 43507 / 94493 85806

SIGNATURE OF LICENSED SURVEYOR

RAIN WATER CONSERVATION

* The following rain water conservation method should be made in the buildings.

* Percolation pits of 30centimeter diameter and 3 metres depth may be made and filled with broken bricks (or pebbles) for 2.85 metres and the top covered with perforated Reinforced Concrete Cement (R.C.C.) slab. These percolation pits may be made at intervals of 3 metres center to center along the plinth boundary. The rain water collected in the open terrace may be collected through 150 millimetre PVC Poly Vinyl Chloride Pipes laid on the ground and may be allowed to fall in the percolation pits or into an open well through a seepage filter of 60cm x 60 cm (filter media broken bricks) provided before the open well which will improve the ground water level. A dwarf wall of 7.5 centimeter height is built across the entry and exit gates to retain water and allow it to percolate within.

PARKING CALCULATION (Car)

TYPE	CARPET AREA / FSI (m2)	TENEMENT (nos)	PROF. by rule	REQD.
Residential	0 - 50	1	0	0.00 0
Residential	50.01 - 75	2	0	1.00 0
Residential	> 75	1	1	1.00 1
Total	Required	-	-	- 1
Total	Proposed	-	-	- 1

PARKING CALCULATION (Two Wheeler)

TYPE	CARPET AREA / FSI (m2)	TENEMENT (nos)	PROF. by rule	REQD.
Residential	0 - 25	1	0	0 0
Residential	25.01 - 75	1	0	1 0
Total	Required	-	-	- 0
Total	Proposed	-	-	- 3

PARKING CALCULATION

TYPE	Type of Parking	REQUIRED No.	PROPOSED No.
-	Car	12.50	12.50
-	Two Wheeler	0.00	3.60
-	Lorry	0.00	0.00
-	Cycle	0.00	0.00
Total	Total Area	12.50	17.90



பெருநகர சென்னை மாநகராட்சி
மனிட.லம்-7, அப்பத்தூர்
நகரமைப்பு பிரிவு
குறிப்பு
மதுதூர் தங்கள் வீட்டின் மையூர் சேரிப்பு
முறையை கண்டிப்பாக பின்பற்ற வேண்டும்

The approval issued under New Rule TNCD & BR, 2019 is subject to the out come of Writ Petition in WP (MD) No. 8948 of 2019 before the Madurai Bench of Madras High Court

NO CONSTRUCTION MATERIALS SHALL BE PLACED IN THE ROADS/FOOTPATH THEREBY OBSTRUCTING THE USAGE OF IT.

PLAN SHOWING THE PROPOSED CONSTRUCTION OF RESIDENTIAL BUILDING AT PLOT No. 22, VETRI NAGAR, KORATTUR, CHENNAI, COMPRISED IN AS PER PATTAS NO. 598 / 1B1A Part, 1B1A2, 1B1A3, 1B1A4, 2B Part, 598 / 1A1B, AS PER PATTAS NEW TOWN SURVEY NO.3/16, BLOCK NO- 21, WARD -E OF KORATTUR VILLAGE, AMBATTUR TALUK, GREATER CHENNAI CORPORATION, DIVISION - 83, ZONE - VII.

SPECIFICATIONS

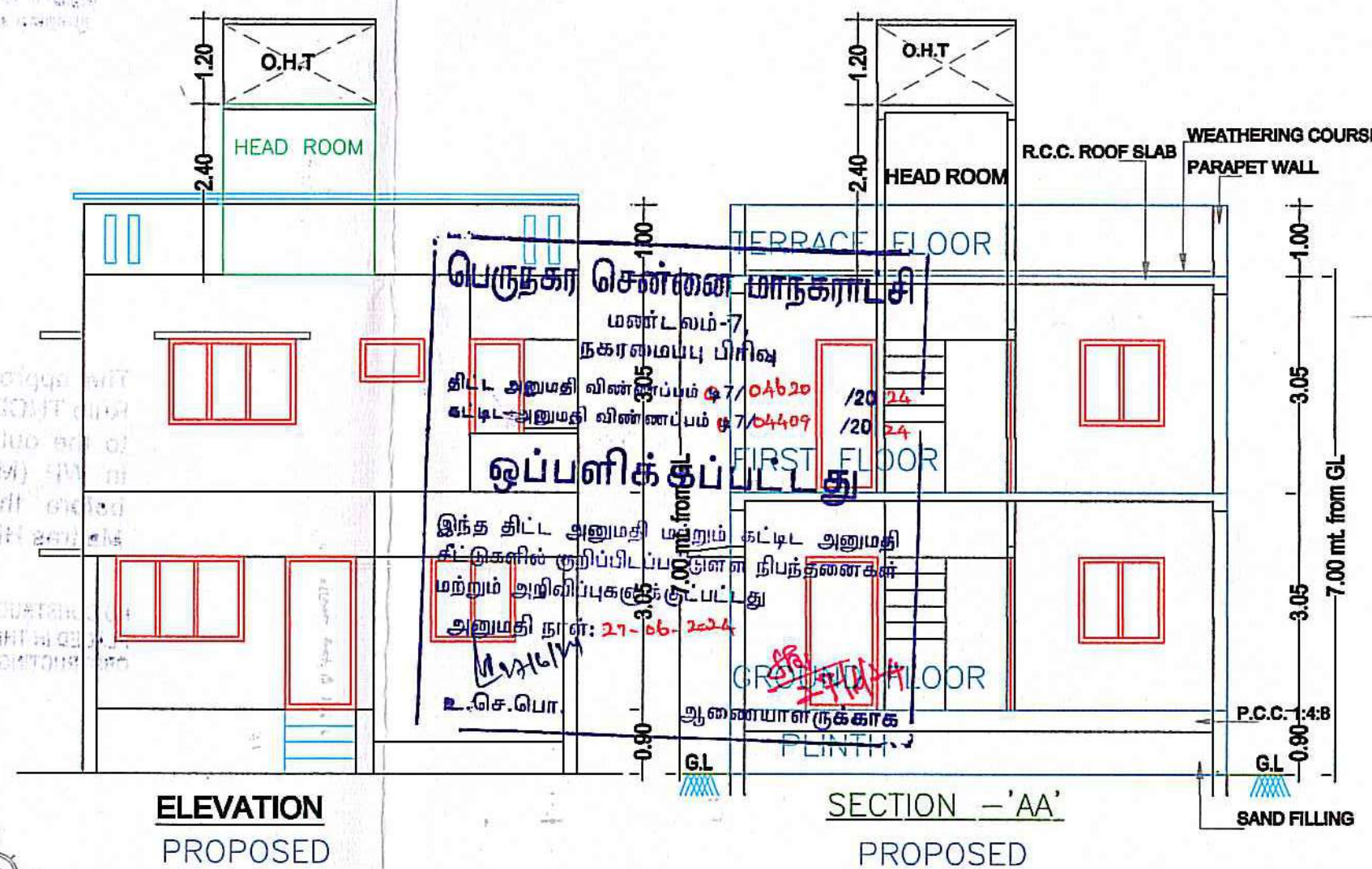
BRICK WORK IN C M 1:5 FOR SUPER STRUCTURE & BASEMENT R.C.C [M25]

FOR COLUMN, PLINTH BEAM LINTEL, SUNSHADE & ROOF SLAB & FLOOR FINISHING IN C M IN 1:3
PLASTERING THE WALL IN C M 1:4
OUTSIDE AND INSIDE IN 12 mm THICK WEATHERING COURSE WITH TWO LAYERS OF FLAT TILES LAID IN C M 1:4
WHITE AND COLOUR WASHING FOR WALLS & CEILING

ELECTRICAL SPECIFICATIONS

1. FIRE RETARDING CABLE TO BE USED.
2. ENERGY EFFICIENT BULB WILL BE USED.
3. NECESSARY CIRCUIT BREAKERS TO BE USED.

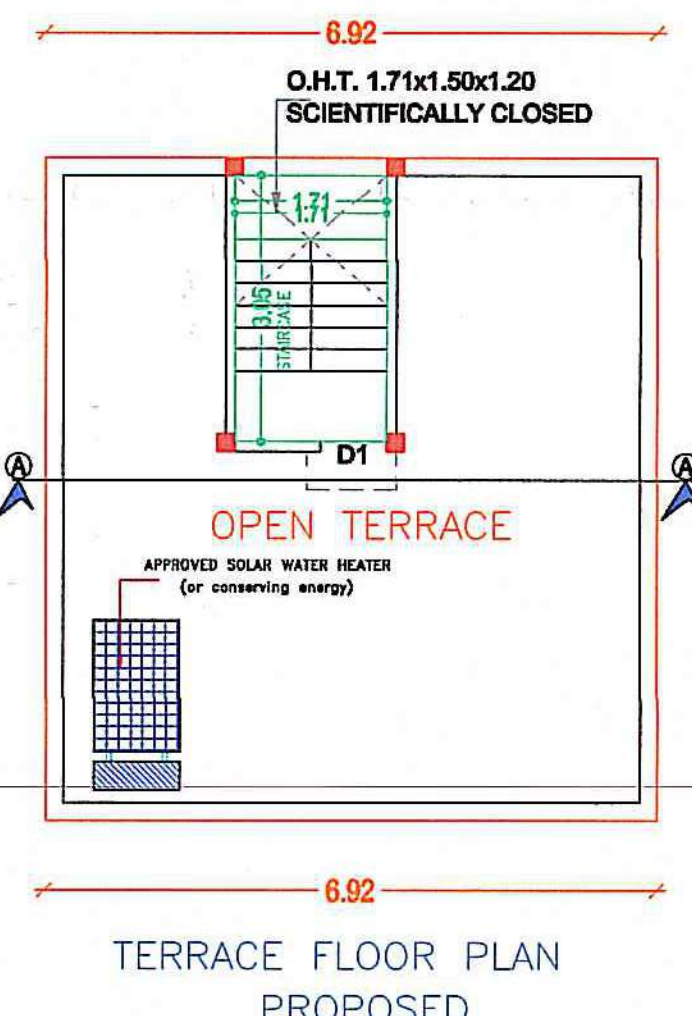
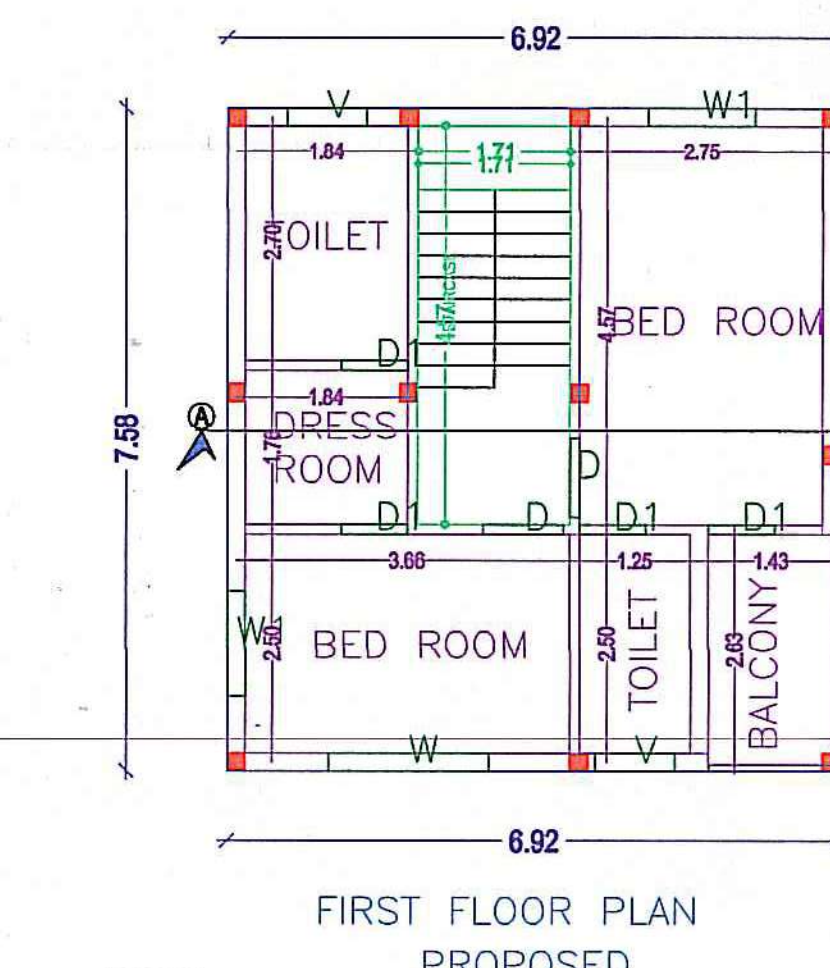
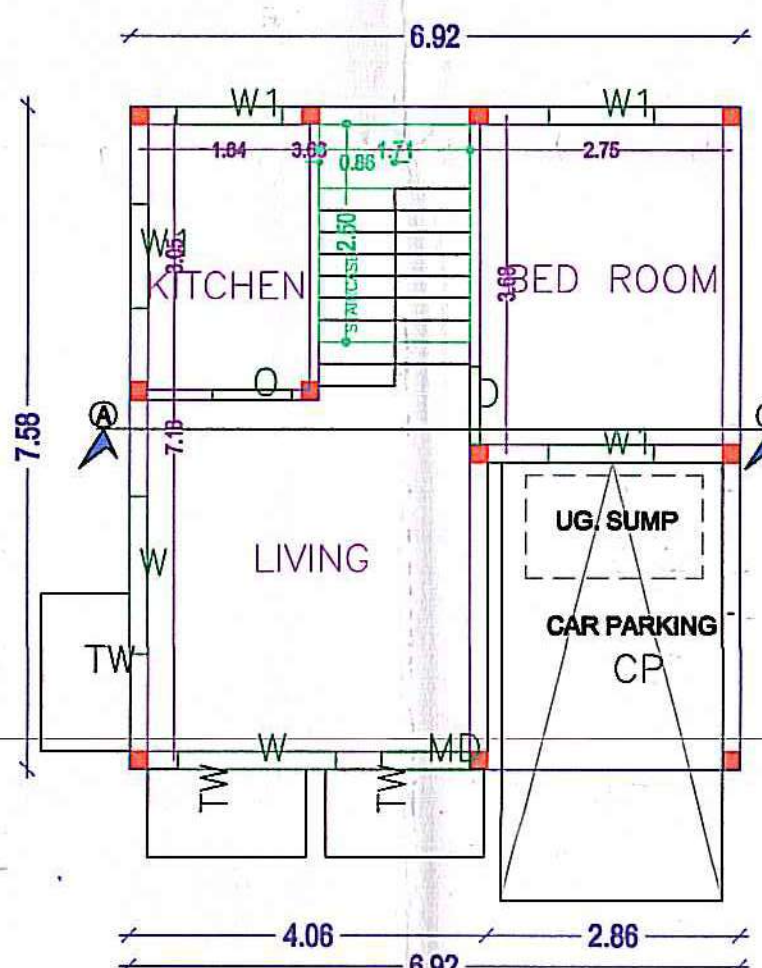
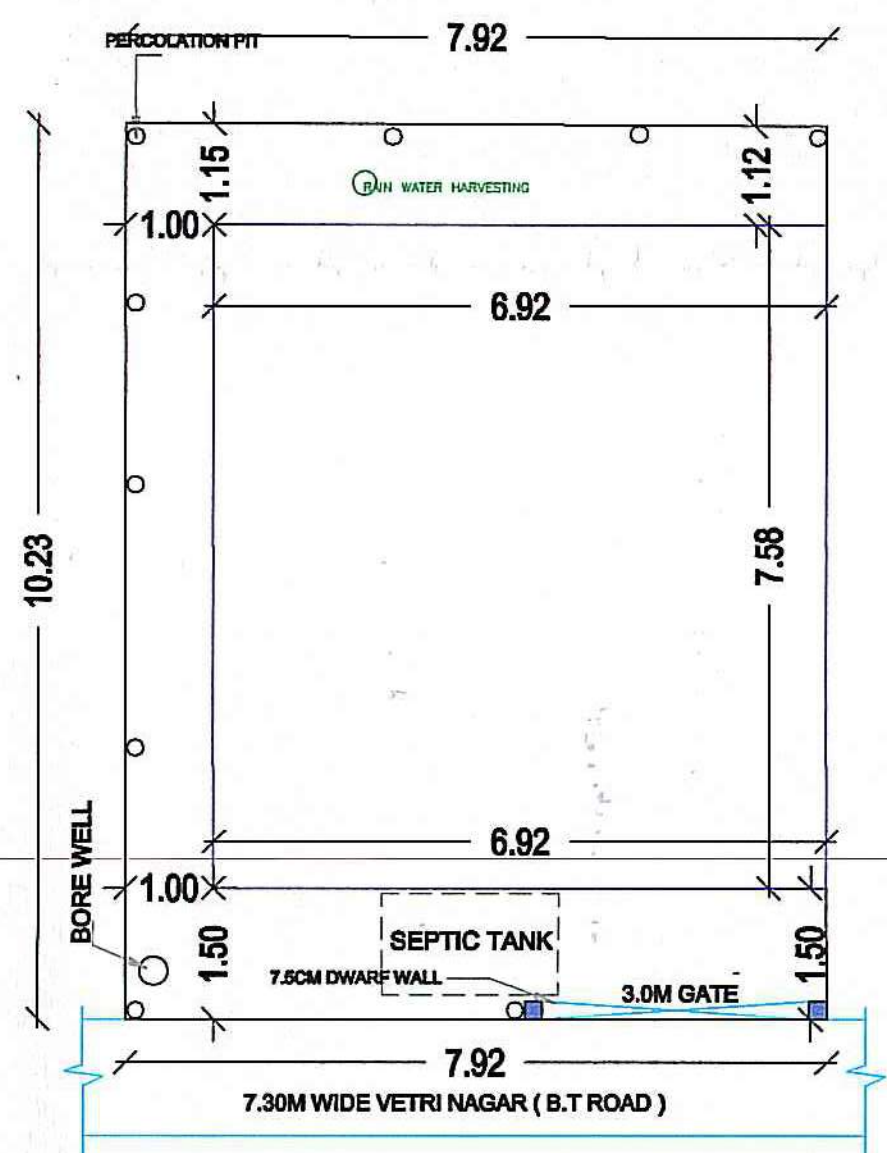
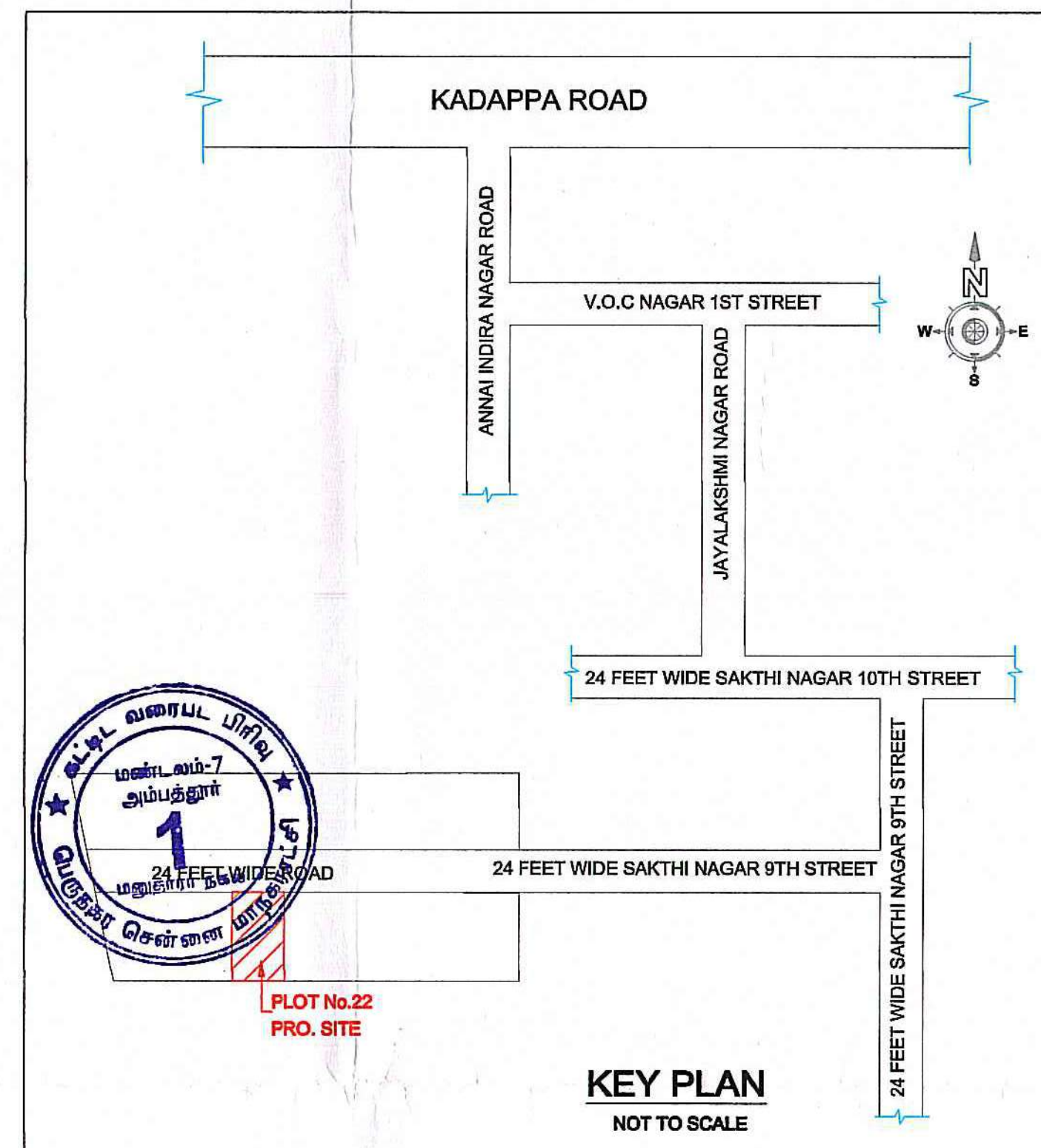
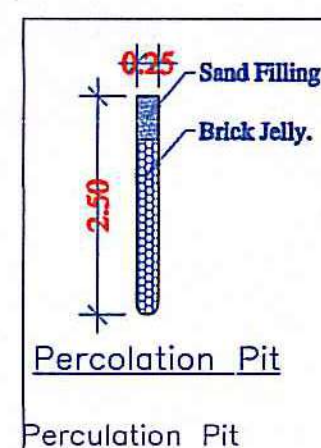
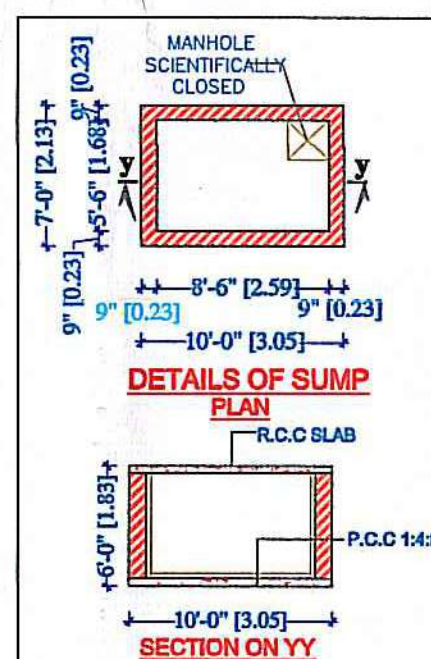
General Specification



NOTE:-

LAYOUT APPROVED No. SD/WDCN07/00457/2023

DATED:- 06/10/2023



SCHEDULE OF JOINERY:

NAME	LENGTH	HEIGHT	NOS.
D1	0.75	2.10	04
D	0.90	2.10	03
O	0.90	2.10	01
MD	1.00	2.10	01

SCHEDULE OF JOINERY:

NAME	LENGTH	HEIGHT	NOS.
V	0.90	0.80	02
W1	1.20	1.20	06
W	1.80	1.20	03

FLOORWISE FSI STATEMENT FOR:

FLOORS	FSI AREA					BALCONY ARCH. PROJ.	TOTAL FSI AREA	BALCONY (Free from FSI)	STAIR	LIFT	LIFT M/C SUB ROOM	PARKING	TOTAL BUILTUP	TENE.
	Existing	COMM.	RESI.	IND.	SPEC.									
TERRACE FLOOR	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	5.22	-	-	0.00	5.22	0
FIRST FLOOR	0.00	0.00	52.42	0.00	0.00	0.00	52.42	0.00	-	-	-	0.00	52.42	0
GROUND FLOOR	0.00	0.00	52.42	0.00	0.00	0.00	52.42	0.00	-	-	-	0.00	52.42	1
Total	0.00	0.00	104.84	0.00	0.00	0.00	104.84	0.00	5.22	-	-	0.00	110.06	1

AREA STATEMENT (COC)

VERSION NO.: 1.03
VERSION DATE: 09/12/2016

PROJECT DETAIL

File No.:	COC/8398/24	Name of Road:	VETRI NAGAR
Case Type:	New	Plot No.:	22
Type of Proposal:	Primary Residential	Door No.:	-
Category:	Ordinary Bldg	Division:	Div - 083
Zone:	Zone-07	Survey Village:	KORATTUR
Survey No.:	T.S.No.3/16		
Land Use Zone:	Delatched Area		

AREA DETAILS

	SQ.MT.
PLOT AREA AS PER PATTAS	80.93
PLOT AREA AS PER DOCUMENT	80.93
PLOT AREA AS PER SITE	80.93
PLOT AREA AS PER DRAWING	80.90
PLOT AREA CONSIDERED FOR SCRUTINY	(A) 80.90
BALANCE AREA OF PLOT	(B) 80.90
NET AREA OF PLOT	(C) 80.90
NET BALANCE AREA OF PLOT	(D) 80.90
MAX. PERMISSIBLE COVERAGE AREA	-
Proposed Coverage Area	52.42
Total Proposed Coverage Area	(64.79%) 52.42
BALANCE COVERAGE AREA	-
PERMISSIBLE FSI AREA	2.00
PREMIUM FSI AREA	-
MAX. PERMISSIBLE FSI AREA	2.00
Residential FSI	104.84
Proposed Floor (FSI) Area	104.84
TOTAL PROPOSED FSI AREA	104.84
CONSUMED FSI	1.30
TOTAL PROP. BUILT UP AREA	110.06

COLOR INDEX

PLOT BOUNDARY	
ABUTTING ROAD	
PROPOSED WORK (COVERAGE AREA)	
EXISTING (To be retained)	
EXISTING (To be demolished)	

FOR PAVAN CASTLES PRIVATE LIMITED	Director.
Signature of Owner	Signature of Licensed Surveyor

RAIN WATER CONSERVATION

* The following rain water conservation method should be made in the buildings.

* Percolation pits of 30centimeter diameter and 3 metres depth may be made and filled with broken bricks (or pebbles) for 2.85 metres and the top covered with perforated Reinforced Concrete Cement (R.C.C.) slab. These percolation pits may be made at intervals of 3 metres center to center along the plinth boundary. The rain water collected in the open terrace may be collected through a 150 millimetre PVC Poly Vinyl Chloride Pipe laid on the ground and may be allowed to fall in the percolation pits or into an open well through a seepage filter of 60cm x 60 cm (filter media broken bricks) provided before the open well which will improve the ground water level. A dwarf wall of 7.5 centimeter height is built across the entry and exit gates to retain water and allow it to percolate within.

PARKING CALCULATION (Car)

TYPE	CARPET AREA / FSI (m2)	TENEMENT (nos)	REQUIRED (nos)
Residential	0 - 50	1	0
Residential	50.01 - 75	2	0
Residential	> 75	1	1
Total	Required	-	-
Total	Proposed	-	-

PARKING CALCULATION (Two Wheeler)

TYPE	CARPET AREA / FSI (m2)	TENEMENT (nos)	REQUIRED (nos)
Residential	0 - 25	1	0
Residential	25.01 - 75	1	0
Total	Required	-	-
Total	Proposed	-	-

PARKING CALCULATION

TYPE	Type of Parking	REQUIRED No.	PROPOSED No.
-	Car	1	1
-	Two Wheeler	0	0
-	Lorry	0	0
-	Cycle	0	0
Total	Total Area	-	-



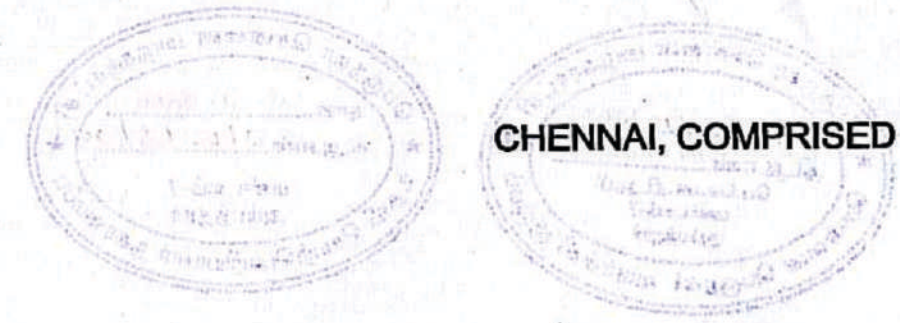
பெருநகர சென்னை மாநகராட்சி
மண்டலம்-7, அம்பத்தூர்
நகரமைப்பு பிரிவு

குறிப்பு

மனுதாரர் தங்கள் வீட்டின் மையநீர் சேகரிப்பு
முறையை கண்டியாக பின்பற்ற வேண்டும்

The approval issued under New
Rule TNCD & BR, 2019 is subject
to the out come of Writ Petition
in WP (MD) No. 8948 of 2019
before the Madurai Bench of
Madras High Court

NO CONSTRUCTION MATERIALS SHALL BE
PLACED IN THE ROADS/FOOTPATH THEREBY
OBSTRUCTING THE USAGE OF IT.



PLAN SHOWING THE PROPOSED CONSTRUCTION OF RESIDENTIAL BUILDING AT PLOT No. 23 , VETRI NAGAR, KORATTUR, CHENNAI, COMPRISED IN AS PER PATTA S.NO. 598 / 1B1A Part, 1B1A2, 1B1A3, 1B1A4, 2B Part, 598 / 1A1B , AS PER PATTA NEW TOWN SURVEY NO.3/16, BLOCK NO- 21, WARD -E OF KORATTUR VILLAGE , AMBATTUR TALUK, GREATER CHENNAI CORPORATION, DIVISION - 83,ZONE - VII.

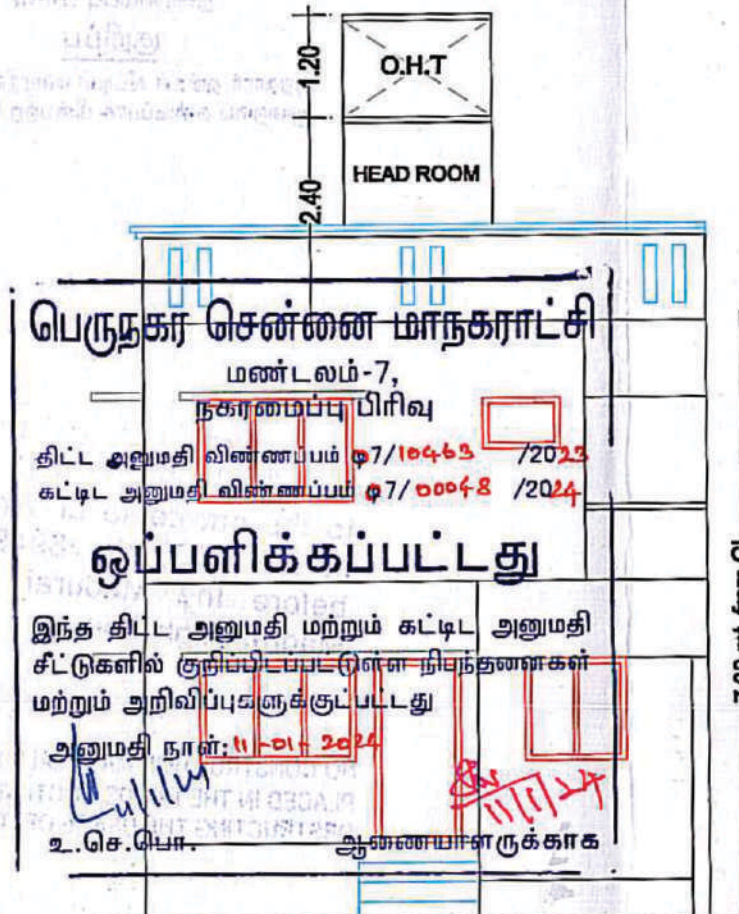
SPECIFICATIONS

BRICK WORK IN C M 1:5 FOR SUPER STRUCTURE & BASEMENT R.C.C [M25] FOR COLUMN, PLINTH BEAM LINTEL, SUNSHADE & ROOF SLAB & FLOOR FINISHING IN C M IN 1:3 PLASTERING THE WALL IN C M 1:4 OUTSIDE AND INSIDE IN 12 mm THICK WEATHERING COURSE WITH TWO LAYERS OF FLAT TILES LAID IN C M 1:4 WHITE AND COLOUR WASHING FOR WALLS & CEILING

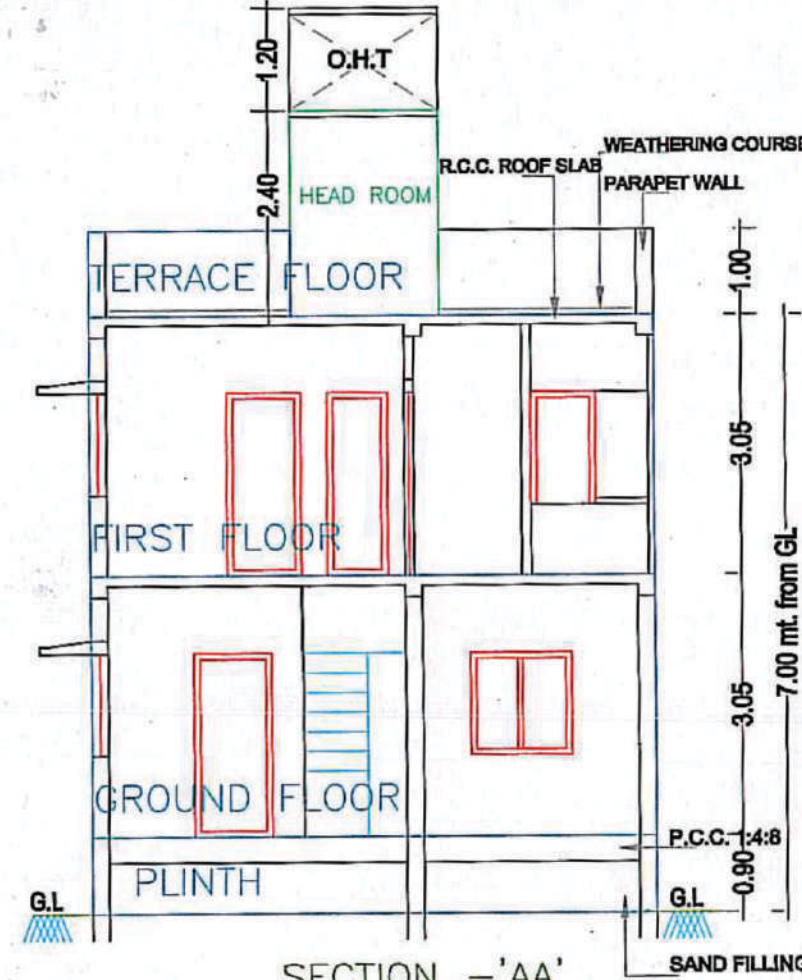
ELECTRICAL SPECIFICATIONS

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2. ENERGY EFFICIENT BULB WILL BE USED.
3. NECESSARY CIRCUIT BREAKERS TO BE USED.

General Specification

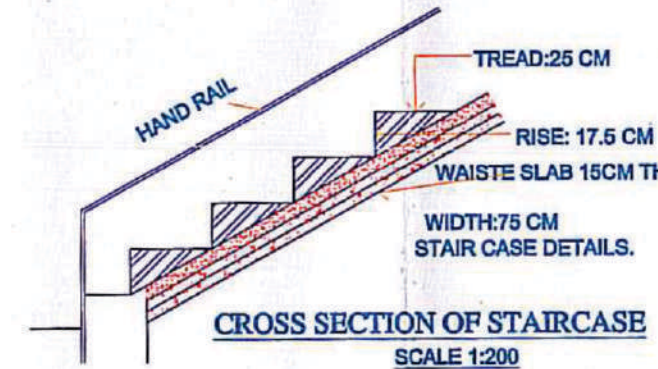


ELEVATION PROPOSED

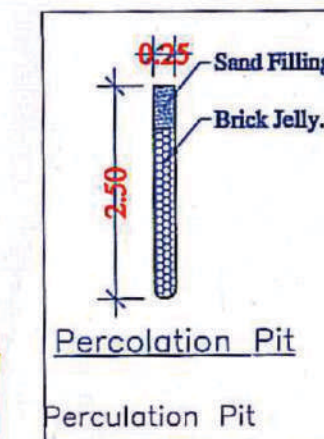


SECTION 'AA' PROPOSED

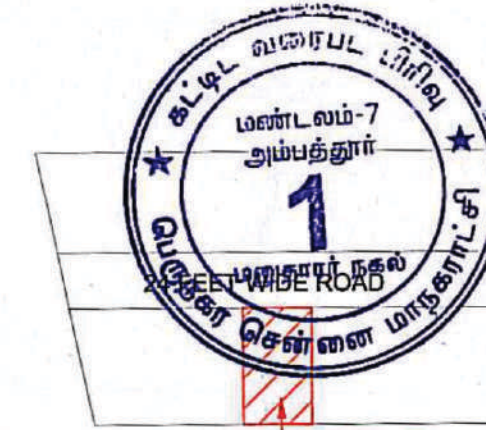
NOTE:-
LAYOUT APPROVED No. SD/WDCN07/00457/2023
DATED:- 06/10/2023



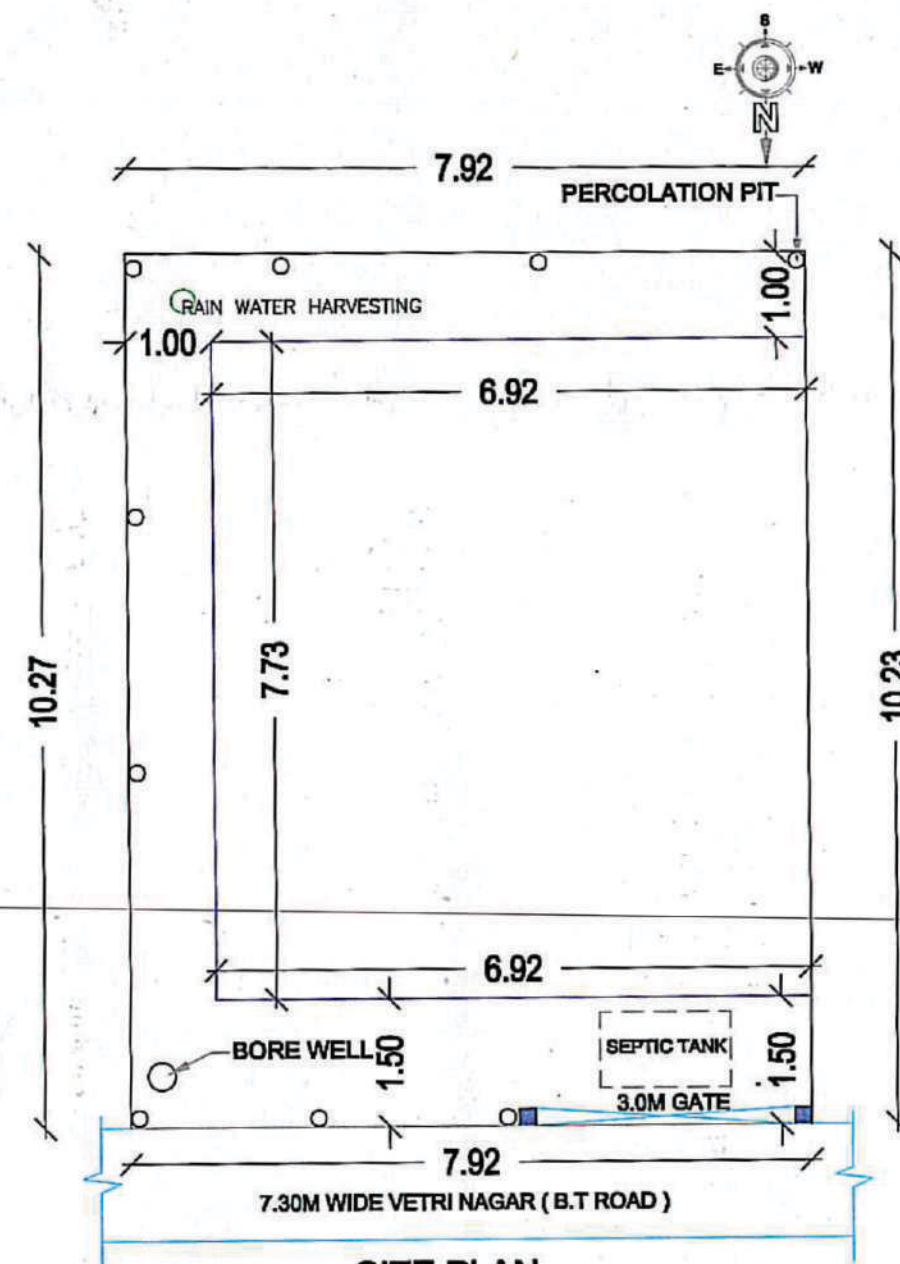
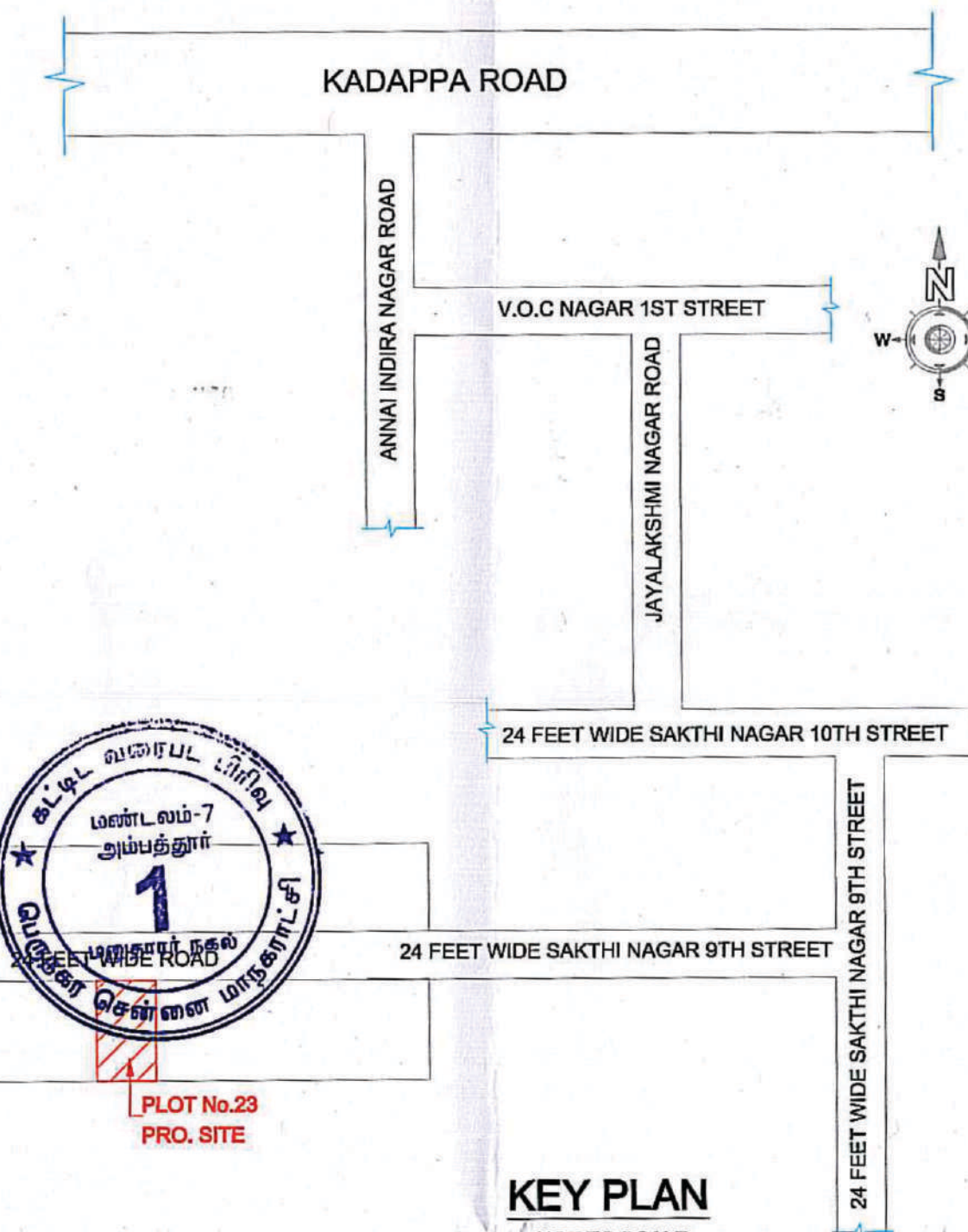
CROSS SECTION OF STAIRCASE SCALE 1:20



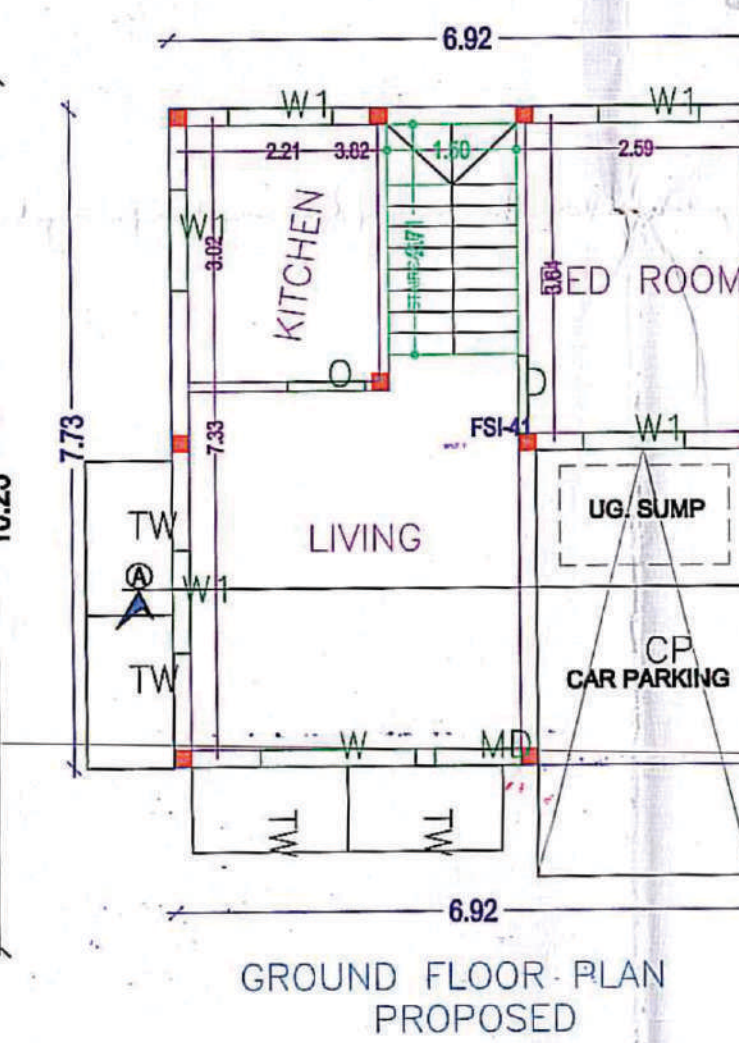
Percolation Pit



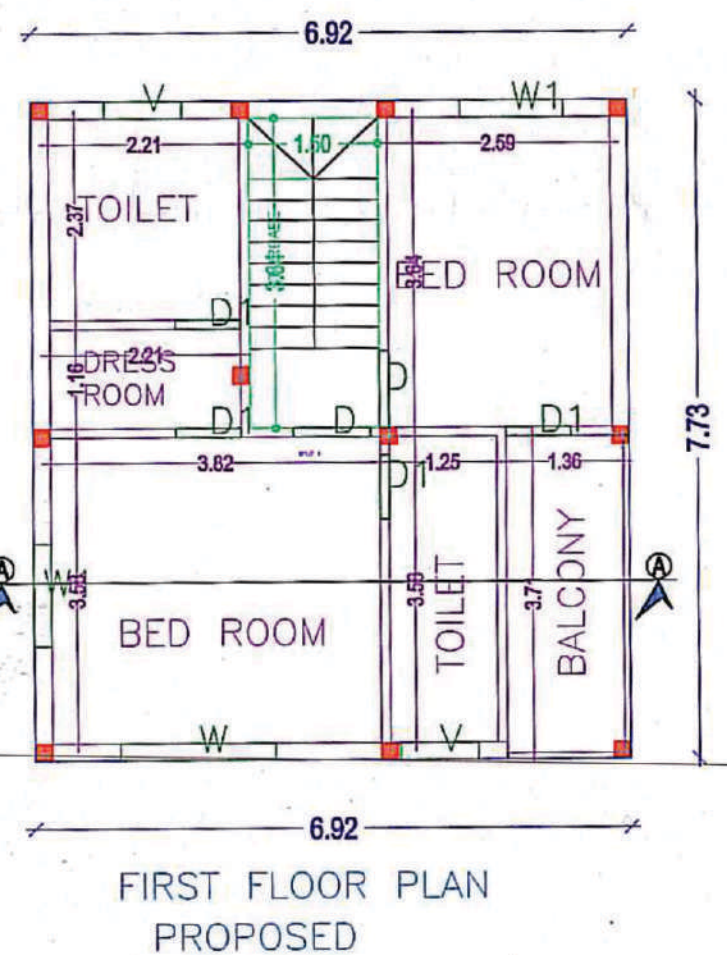
KEY PLAN NOT TO SCALE



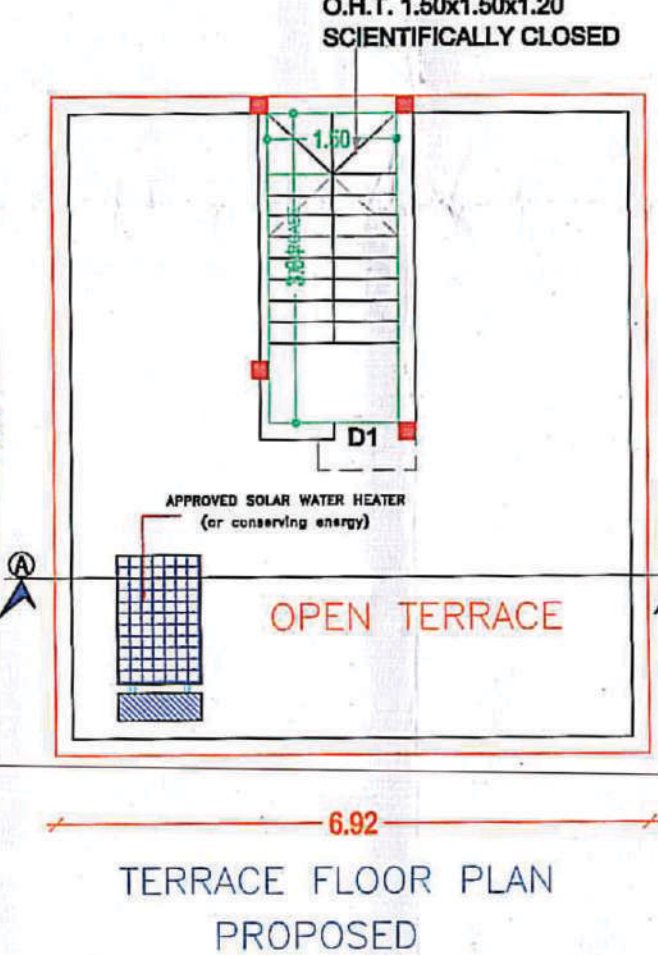
SITE PLAN



GROUND FLOOR PLAN PROPOSED



FIRST FLOOR PLAN PROPOSED



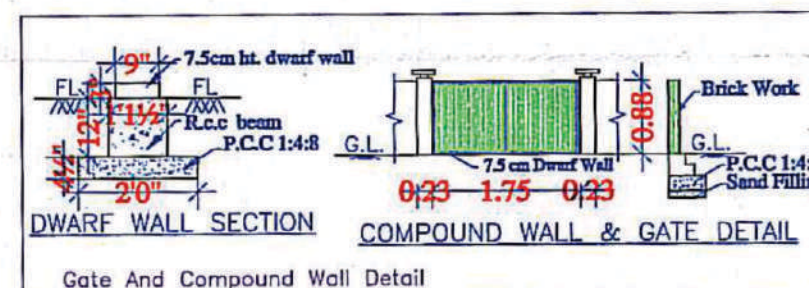
TERRACE FLOOR PLAN PROPOSED

SCHEDULE OF JOINERY:

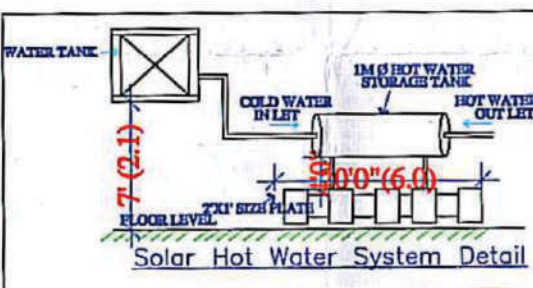
NAME	LENGTH	HEIGHT	NOS.
V	0.90	0.60	02
W1	1.20	1.20	07
W	1.80	1.20	02

SCHEDULE OF JOINERY:

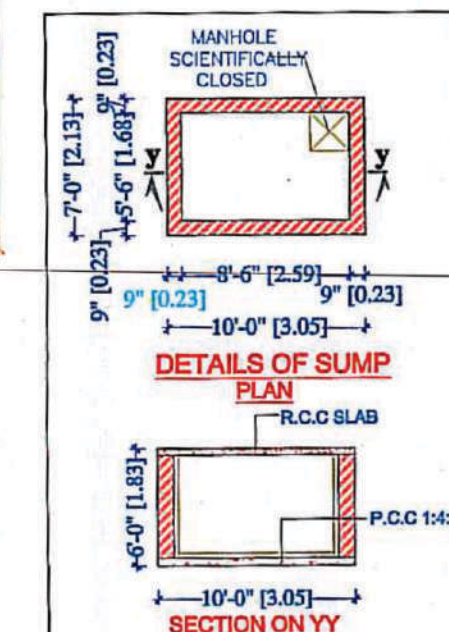
NAME	LENGTH	HEIGHT	NOS.
D1	0.75	2.10	04
D	0.90	2.10	03
O	0.90	2.10	01
MD	1.00	2.10	01



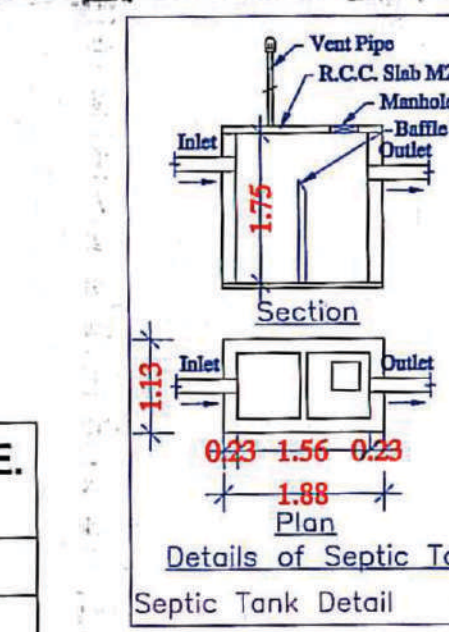
DWARF WALL SECTION



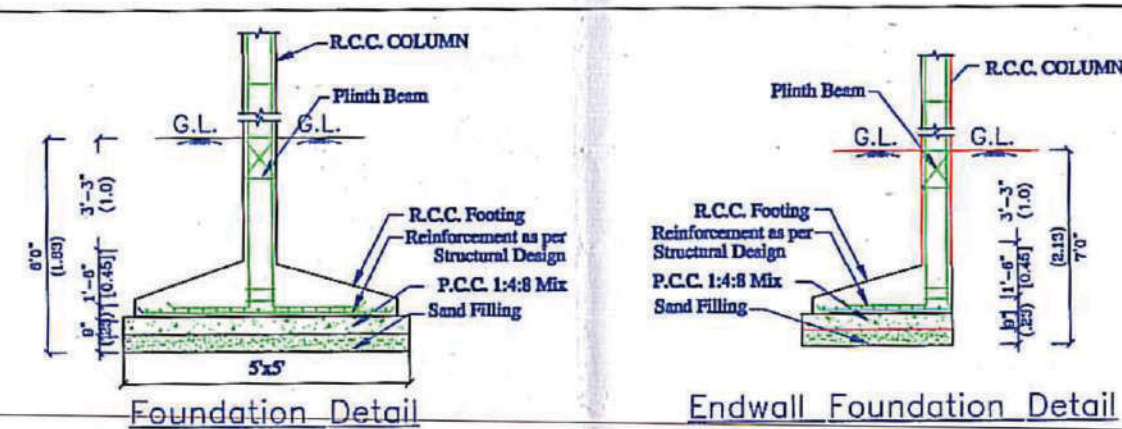
COMPOUND WALL & GATE DETAIL



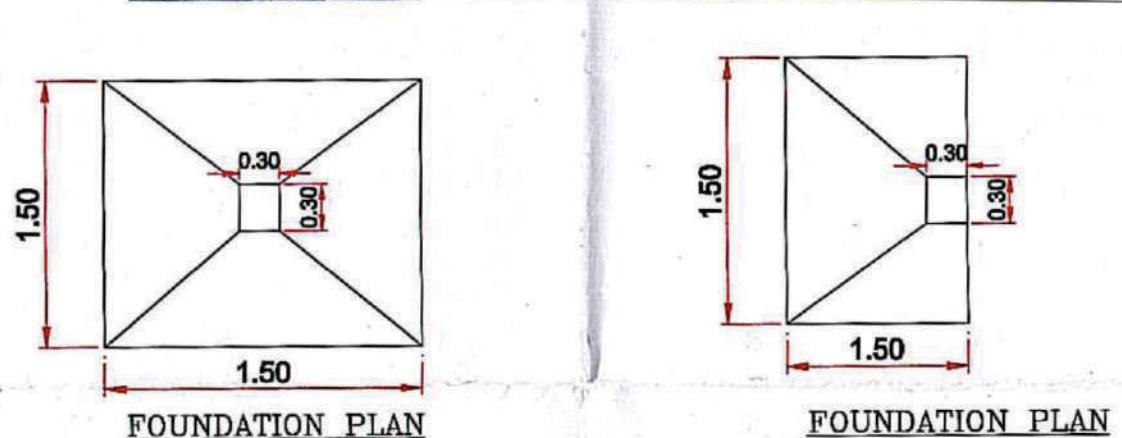
DETAILS OF SUMP PLAN



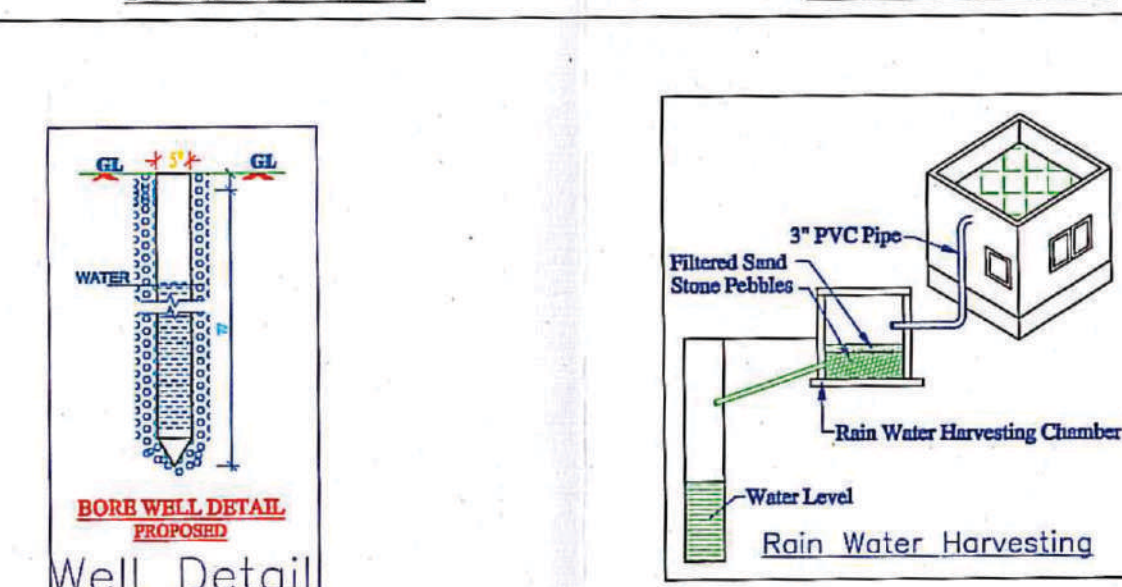
DETAILS OF SEPTIC TANK



Foundation Detail



FOUNDATION PLAN



Well Detail

FLOORWISE FSI STATEMENT FOR:

FLOORS	FSI AREA					BALCONY ARCH. PROJ.	TOTAL FSI AREA	BALCONY (Free from FSI)	STAIR	LIFT	LIFT M/C SUB ROOM	PARKING	TOTAL BUILTUP	TENE.
	Existing	COMM.	RESI.	IND	SPEC.									
TERRACE FLOOR	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	5.46	-	-	0.00	5.46	0
FIRST FLOOR	0.00	0.00	53.49	0.00	0.00	0.00	53.49	0.00	-	-	-	0.00	53.49	0
GROUND FLOOR	0.00	0.00	53.49	0.00	0.00	0.00	53.49	0.00	-	-	-	0.00	53.49	1
Total	0.00	0.00	106.98	0.00	0.00	0.00	106.98	0.00	5.46	-	-	0.00	112.44	1

AREA STATEMENT (COC)

VERSION NO.: 1.00
VERSION DATE: 09/12/2016

PROJECT DETAIL

File No.:	COC/20600/23	Name of Road:	VETRI NAGAR
Case Type:	New	Plot No.:	23
Type of Proposal:	Primary Residential	Door No.:	-
Category:	Ordinary Bldg	Division:	Div - 083
Zone:	Zone-07	Survey Village:	KORATTUR
Survey No.:	T.S.No.3/16		

Land Use Zone:

Detached Area

AREA DETAILS

SQ.MT.

PLOT AREA AS PER PATTA	81.27
PLOT AREA AS PER DOCUMENT	81.27
PLOT AREA AS PER SITE	81.17
PLOT AREA AS PER DRAWING	81.17
PLOT AREA CONSIDERED FOR SCRUTINY	(A) 81.17
BALANCE AREA OF PLOT	(B) 81.17
NET AREA OF PLOT	(C) 81.17
NET BALANCE AREA OF PLOT	(D) 81.17
MAX. PERMISSIBLE COVERAGE AREA	-
Proposed Coverage Area	53.49
Total Proposed Coverage Area	(85.9%) 53.49
BALANCE COVERAGE AREA	-
PERMISSIBLE FSI AREA	2.00
PREMIUM FSI AREA	-
MAX. PERMISSIBLE FSI AREA	2.00
Residential FSI	106.98
Proposed Floor (FSI) Area	106.98
TOTAL PROPOSED FSI AREA	106.98
CONSUMED FSI	1.32
TOTAL PROP. BUILT UP AREA	112.44

COLOR INDEX

PLOT BOUNDARY	
ABUTTING ROAD	
PROPOSED WORK (COVERAGE AREA)	
EXISTING (To be retained)	
EXISTING (To be demolished)	

For PAWAN CASTLES PRIVATE LIMITED
Director.

For JALEX CHRISTOPHER M.E., J.B.A., M.Sc. (N)
REGISTERED ENGINEER No. 2003202018
GREATER CHENNAI CORPORATION
No. 1, Ganapathy Nagar, Kottur, Chennai - 600 099.
Mob: 94449 43307 / 94493 85906

SIGNATURE OF OWNER

SIGNATURE OF LICENSED SURVEYOR

RAIN WATER CONSERVATION

* The following rain water conservation method should be made in the buildings.
* Percolation pits of 30centimeter diameter and 3 metres depth may be made and filled with broken bricks (or pebbles) for 2.85 metres and the top covered with perforated Reinforced Concrete Cement (R.C.C.) slab. These percolation pits may be made at intervals of 3 metres center to center along the plinth boundary. The rain water collected in the open terrace may be collected through a 150 millimetre PVC Poly Vinyl Chloride Pipe laid on the ground and may be allowed to fall in the percolation pits or into an open well through a seepage filter of 60cm x 60 cm (filter media broken bricks) provided before the open well which will improve the ground water level. A dwarf wall of 7.5 centimeter height is built across the entry and exit gates to retain water and allow it to percolate within.

PARKING CALCULATION (Car)

TYPE	CARPET AREA	TENEMENT (nos)	PROF. by rule	REQD.
Residential	0 - 50	1	0	0.00
Residential	50.01 - 75	2	0	1.00
Residential	> 75	1	1	1.00
Total	Required	-	-	1
Total	Proposed	-	-	1

PARKING CALCULATION (Two Wheeler)

TYPE	CARPET AREA	TENEMENT (nos)	PROF. by rule	REQD.
Residential	0 - 25	1	0	0
Residential	25.01 - 75	1	0	1
Total	Required	-	-	0
Total	Proposed	-	-	4

PARKING CALCULATION

TYPE	Type of Parking	REQUIRED No.	REQUIRED Area	PROPOSED No.	PROPOSED Area
-	Car	1	12.50	1	12.50
-	Two Wheeler	0	0.00	4	7.20
-	Lorry	0	0.00	0	0.00
-	Cycle	0	0.00	0	0.00
Total	Total Area	-	12.50	-	19.70



பெருநகர சென்னை மாநகராட்சி
மண்டலம்-7, அம்பத்தூர்
நகரமப்பு பிரிவு
குறிப்பு
மதுரைத் தலைநகர் வீட்டின் மையக் கோடு
முதலிய கட்டுப்பாடு பின்பற்ற வேண்டும்

The approval issued under New
Rule TNCD & BR, 2019 is subject
to the outcome of Writ Petition
in WP (MD) No. 8948 of 2019
before the Madurai Bench of
Madras High Court.

NO CONSTRUCTION MATERIALS SHALL BE
PLACED IN THE ROADS/FOOTPATH THEREBY
OBSTRUCTING THE USAGE OF IT.

PLAN SHOWING THE PROPOSED CONSTRUCTION OF RESIDENTIAL BUILDING AT PLOT No. 24 , VETRI NAGAR, KORATTUR, CHENNAI, COMPRISED IN AS PER PATTAS.NO. 598 / 1B1A Part, 1B1A2, 1B1A3, 1B1A4, 2B Part, 598 / 1A1B, AS PER PATTAS NEW TOWN SURVEY NO.3/16, BLOCK NO- 21, WARD -E OF KORATTUR VILLAGE , AMBATTUR TALUK, GREATER CHENNAI CORPORATION, DIVISION - 83,ZONE - VII.

SPECIFICATIONS

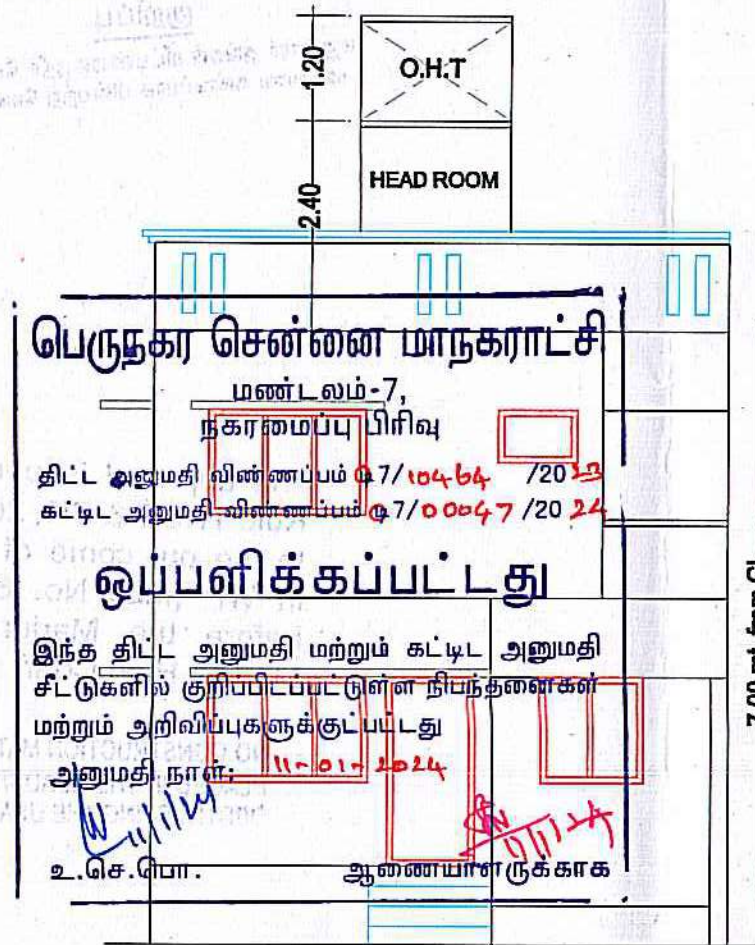
BRICK WORK IN C M 1:5 FOR SUPER STRUCTURE & BASEMENT R.C.C [M25]

FOR COLUMN, PLINTH BEAM LINTEL, SUNSHADE & ROOF SLAB & FLOOR FINISHING IN C M IN 1:3
PLASTERING THE WALL IN C M 1:4 OUTSIDE AND INSIDE IN 12 mm THICK WEATHERING COURSE WITH TWO LAYERS OF FLAT TILES LAID IN C M 1:4
WHITE AND COLOUR WASHING FOR WALLS & CEILING

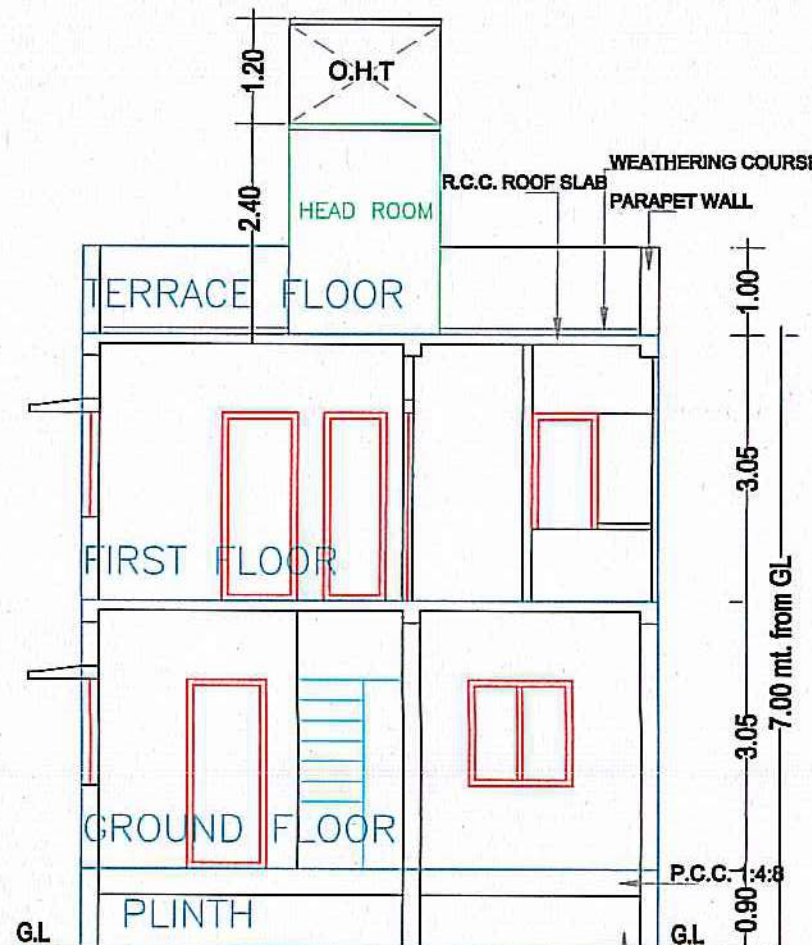
ELECTRICAL SPECIFICATIONS

1. FIRE RETARDING CABLE TO BE USED.
2. ENERGY EFFICIENT BULB WILL BE USED.
3. NECESSARY CIRCUIT BREAKERS TO BE USED.

General Specification

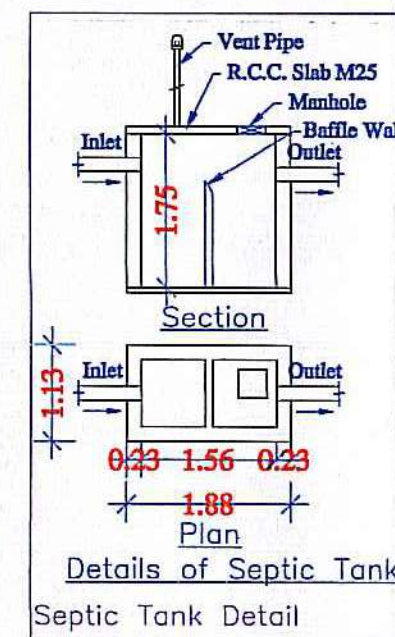


ELEVATION PROPOSED

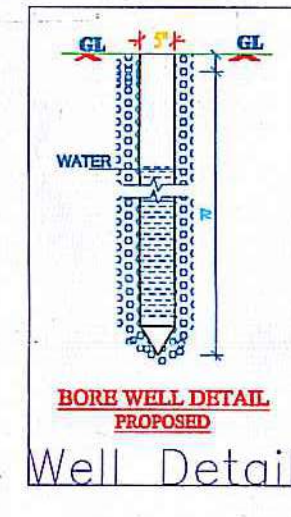


SECTION - 'AA' PROPOSED

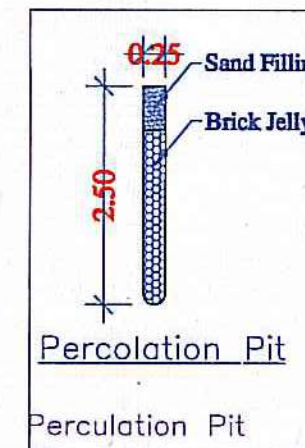
NOTE:-
LAYOUT APPROVED No. SD/WDCN07/00457/2023
DATED:- 06/10/2023



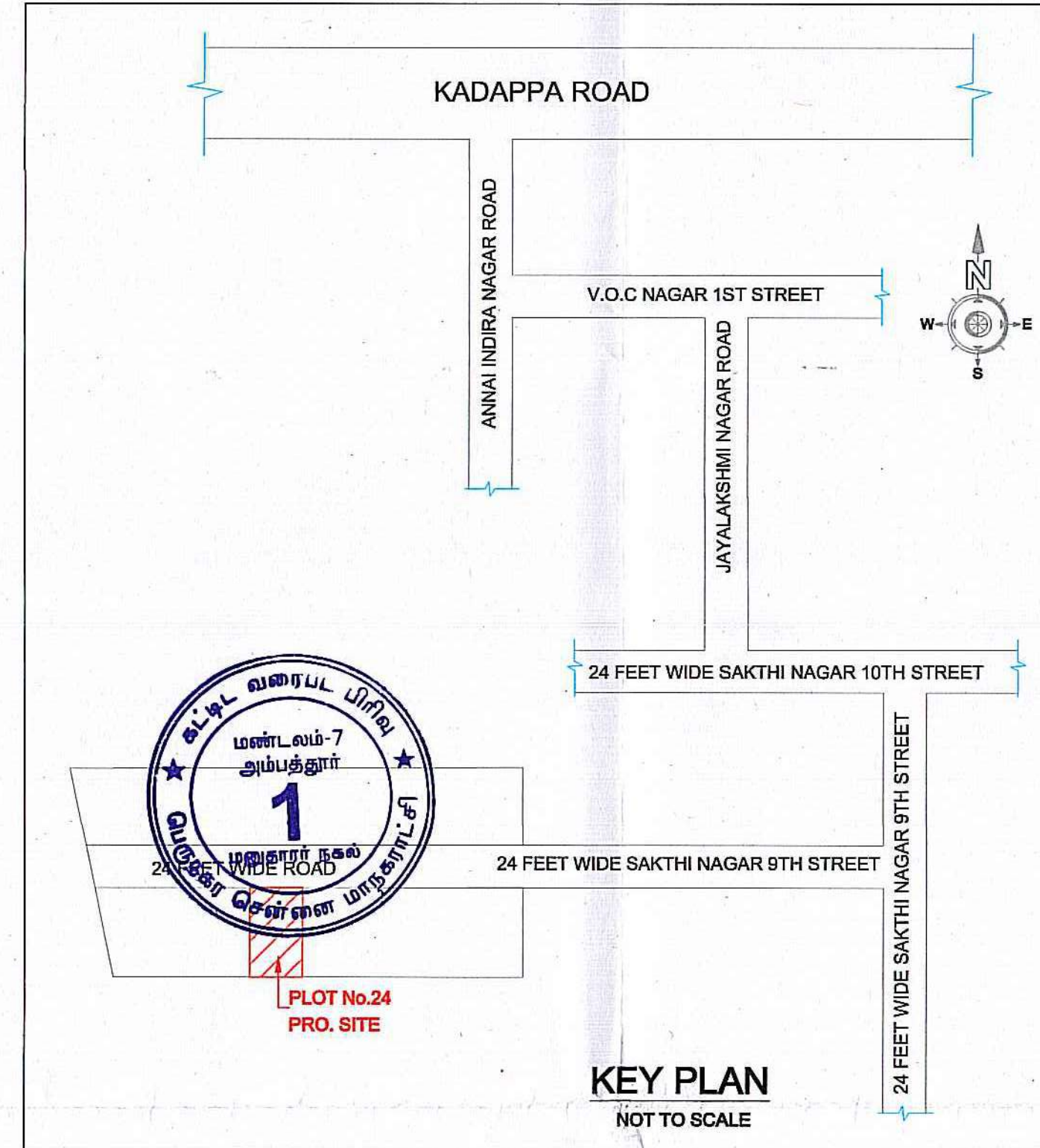
Details of Septic Tank



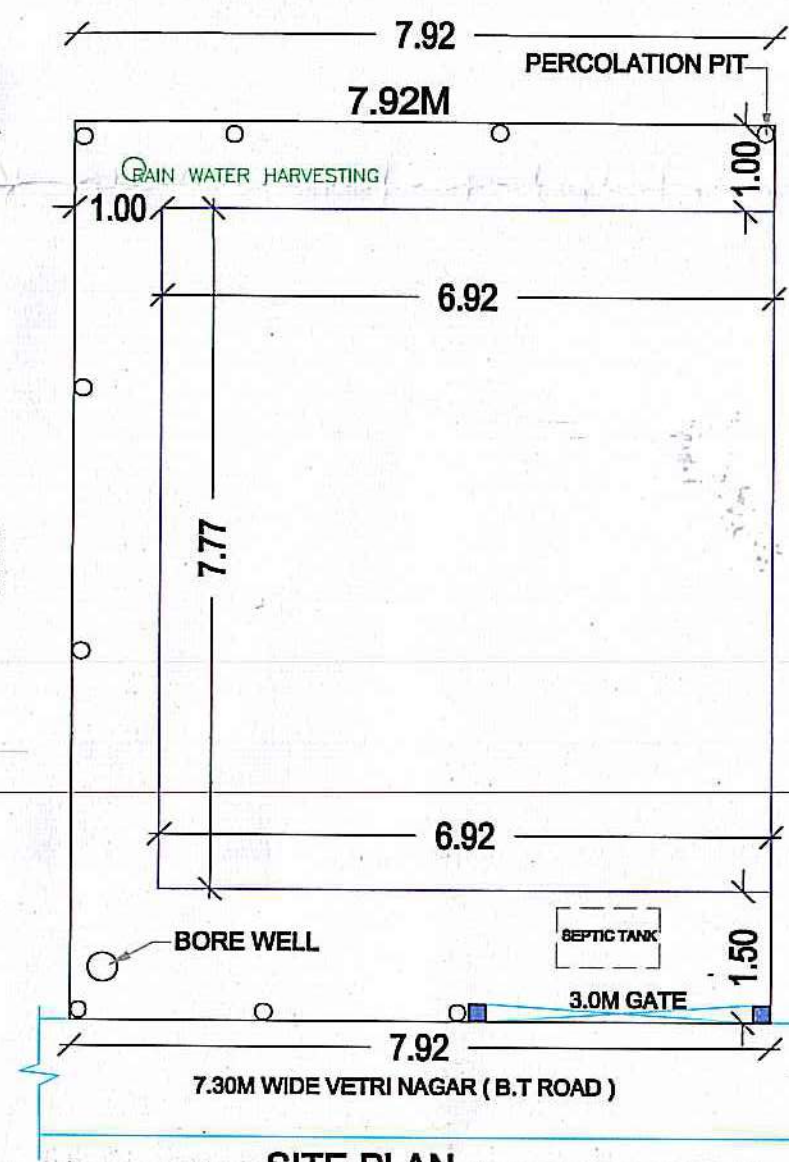
Well Detail



Percolation Pit



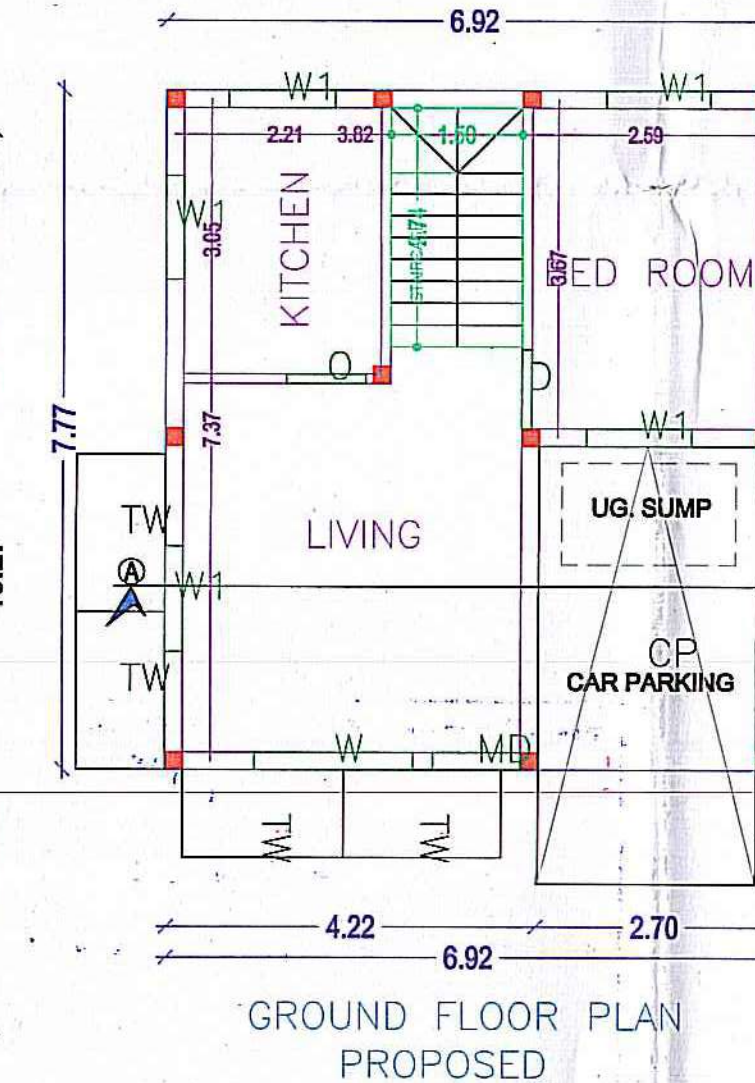
KEY PLAN NOT TO SCALE



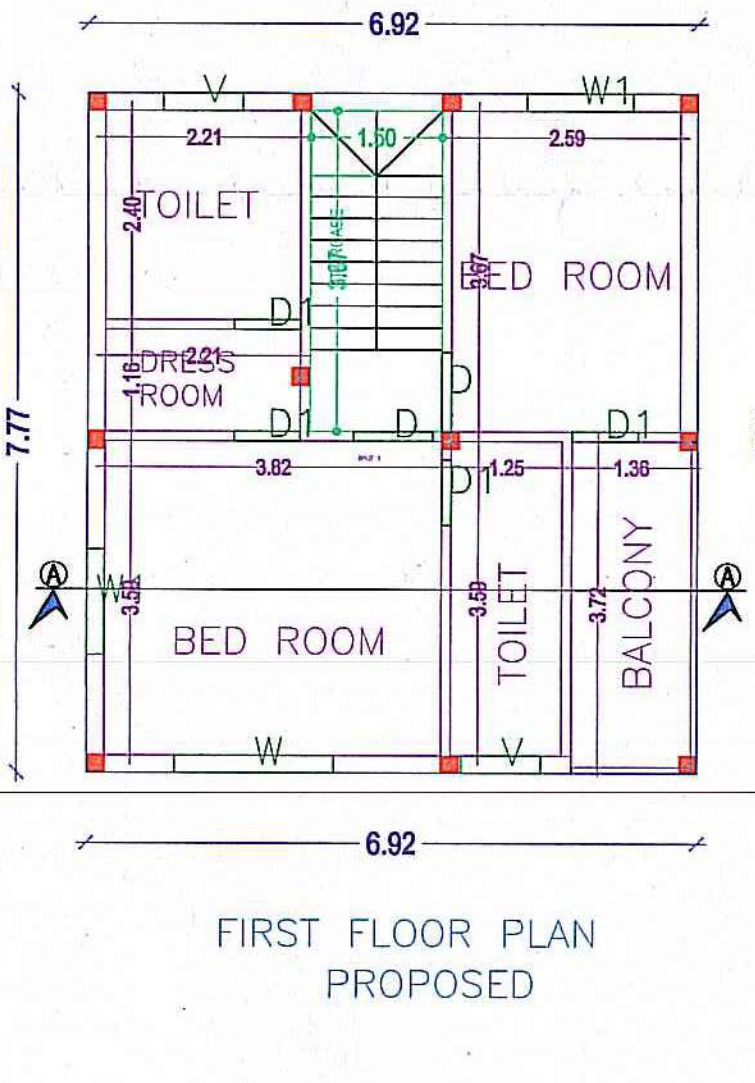
SITE PLAN

SCHEDULE OF JOINERY:

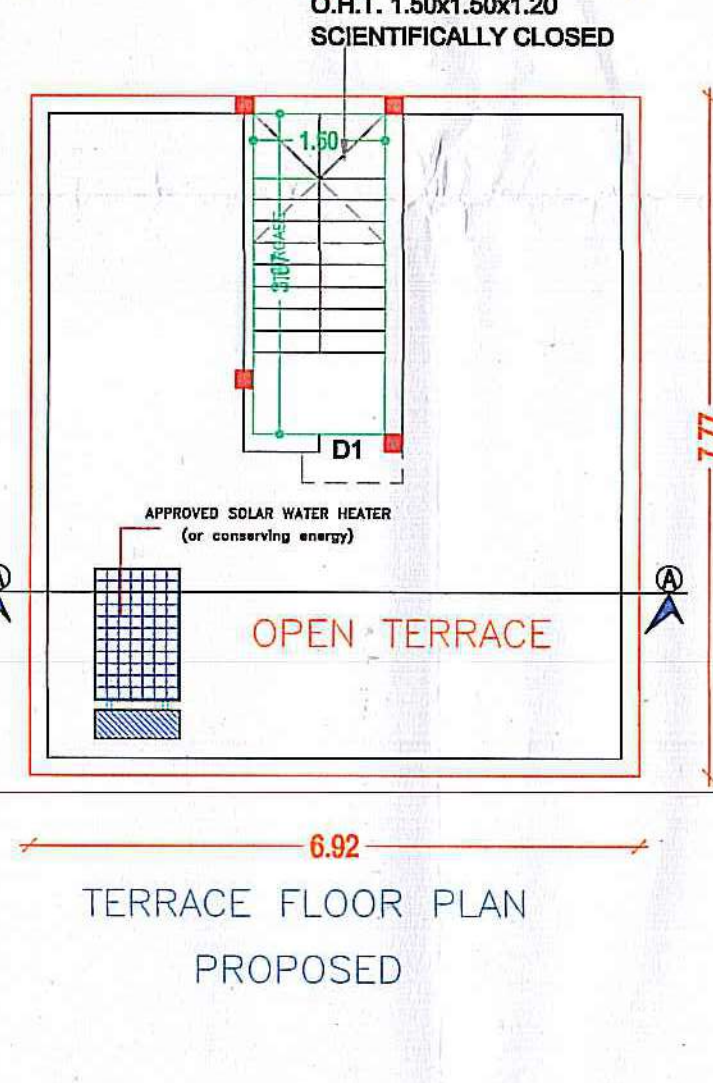
NAME	LENGTH	HEIGHT	NOS.
D1	0.75	2.10	04
D	0.90	2.10	03
O	0.90	2.10	01
MD	1.00	2.10	01



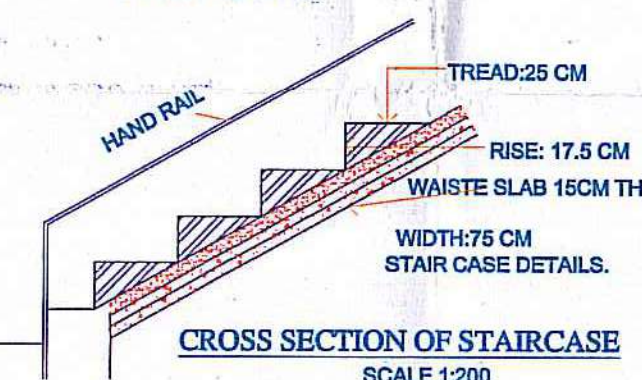
GROUND FLOOR PLAN PROPOSED



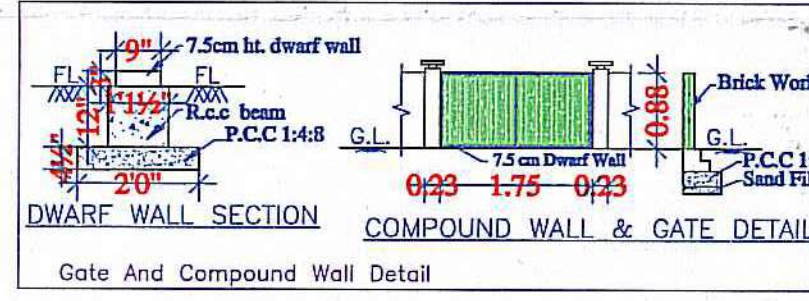
FIRST FLOOR PLAN PROPOSED



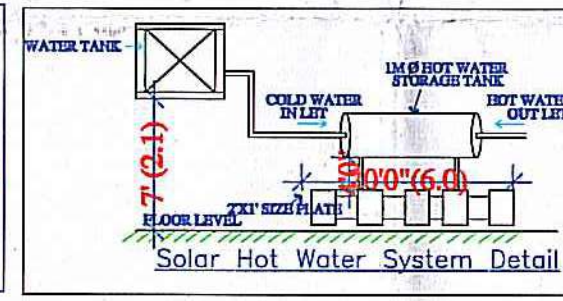
TERRACE FLOOR PLAN PROPOSED



CROSS SECTION OF STAIRCASE SCALE 1:200



Gate And Compound Wall Detail



Solar Hot Water System Detail

FLOORWISE FSI STATEMENT FOR:

FLOORS	FSI AREA					BALCONY ARCH. PROJ.	TOTAL FSI AREA	BALCONY (Free from FSI)	STAIR	LIFT	LIFT M/C SUB ROOM	PARKING	TOTAL BUILTUP	TENE.
	Existing	COMM.	RESI.	IND	SPEC.									
TERRACE FLOOR	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	5.51	-	-	0.00	5.51	0
FIRST FLOOR	0.00	0.00	53.77	0.00	0.00	0.00	53.77	0.00	-	-	0.00	0.00	53.77	0
GROUND FLOOR	0.00	0.00	53.77	0.00	0.00	0.00	53.77	0.00	-	-	0.00	0.00	53.77	1
Total	0.00	0.00	107.54	0.00	0.00	0.00	107.54	0.00	5.51	-	0.00	0.00	113.04	1

SCHEDULE OF JOINERY:

NAME	LENGTH	HEIGHT	NOS.
V	0.90	0.80	02
W1	1.20	1.20	07
W	1.80	1.20	02

AREA STATEMENT (COC)

PROJECT DETAIL		
File No.:	COC/20591/23	
Case Type:	New	Name of Road: VETRI NAGAR
Type of Proposal:	Primary Residential	Plot No.: 24
Category:	Ordinary Bldg	Door No.: -
Zone:	Zone-07	Division: Div - 083
Survey No.:	T.S.No.3/16	Survey Village: KORATTUR
Land Use Zone:	Detached Area	

AREA DETAILS		SQ.MT.
PLOT AREA AS PER PATTAS		81.57
PLOT AREA AS PER DOCUMENT		81.57
PLOT AREA AS PER SITE		81.49
PLOT AREA AS PER DRAWING		81.50
PLOT AREA CONSIDERED FOR SCRUTINY	(A)	81.49
BALANCE AREA OF PLOT	(B)	81.49
NET AREA OF PLOT	(C)	81.49
NET BALANCE AREA OF PLOT	(D)	81.49
MAX. PERMISSIBLE COVERAGE AREA	-	-
Proposed Coverage Area		53.77
Total Proposed Coverage Area	(65.98%)	53.77
BALANCE COVERAGE AREA	-	-
PERMISSIBLE FSI AREA	2.00	162.98
PREMIUM FSI AREA	-	-
MAX. PERMISSIBLE FSI AREA	2.00	162.98
Residential FSI		107.54
Proposed Floor (FSI) Area		107.54
TOTAL PROPOSED FSI AREA		107.54
CONSUMED FSI		1.32
TOTAL PROP. BUILT UP AREA		113.04

COLOR INDEX	
PLOT BOUNDARY	
ABUTTING ROAD	
PROPOSED WORK (COVERAGE AREA)	
EXISTING (To be retained)	
EXISTING (To be demolished)	

For PAWAN CASTLES PRIVATE LIMITED	Director.
SIGNATURE OF OWNER	SIGNATURE OF LICENSED SURVEYOR

RAIN WATER CONSERVATION

* The following rain water conservation method should be made in the buildings.

* Percolation pits of 30centimeter diameter and 3 metres depth may be made and filled with broken bricks (or pebbles) for 2.85 metres and the top covered with perforated Reinforced Concrete Cement (R.C.C.) slab. These percolation pits may be made at intervals of 3 metres center to center along the plinth boundary. The rain water collected in the open terrace may be collected through a 150 millimetre PVC Poly Vinyl Chloride Pipe laid on the ground and may be allowed to fall in the percolation pits or into a open well through a seepage filter of 60cm x 80 cm (filter media broken bricks) provided before the open well which will improve the ground water level. A dwarf wall of 7.5 centimeter height is built across the entry and exit gates to retain water and allow it to percolate within.

PARKING CALCULATION (Car)				
TYPE	CARPET AREA / FSI (m2)	TENEMENT (nos)	CAR (nos)	REQD.
Residential	0 - 50	1	0	0.00
Residential	50.01 - 75	2	0	1.00
Residential	> 75	1	1	1.00
Total	Required	-	-	1
Total	Proposed	-	-	1

PARKING CALCULATION (Two Wheeler)				
TYPE	CARPET AREA / FSI (m2)	TENEMENT (nos)	WHEELER (nos)	REQD.
Residential	0 - 25	1	0	0
Residential	25.01 - 75	1	0	1
Total	Required	-	-	0
Total	Proposed	-	-	4

PARKING CALCULATION				
TYPE	Type of Parking	REQUIRED	PROPOSED	
-	Car	1	12.50	1
-	Two Wheeler	0	0.00	4
-	Lorry	0	0.00	0
-	Cycle	0	0.00	0
Total	Total Area	-	12.50	19.70



பெருநகர சென்னை மாநகராட்சி
மண்டலம்-7, அம்பத்தூர்
நகரமப்பு பிரிவு
குறிப்பு
மதுரை தங்கள் வீட்டின் முன்பு கேள்வி
முறையை கண்டிப்பாக பின்பற்ற வேண்டும்

The approval issued under New Rule TNCD & BR, 2019 is subject to the out come of Writ Petition in WP (MD) No. 8948 of 2019 before the Madurai Bench of Madras High Court

NO CONSTRUCTION MATERIALS SHALL BE PLACED IN THE ROADS/FOOTPATH THEREBY OBSTRUCTING THE USAGE OF IT.