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OMR Thoraipakkam,
Chennai, India

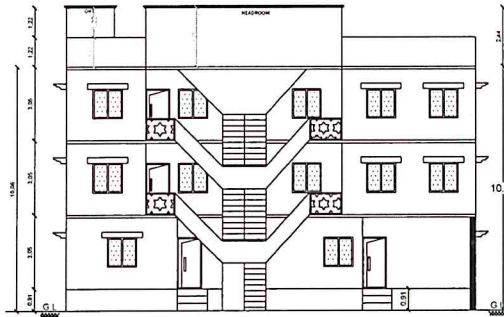
hello@verified.realestate

+91 9996 12 9996

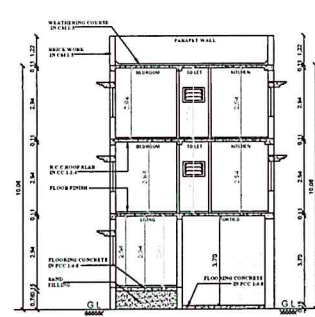
Official Property Record

Digitally Verified Record - Powered by Verified  RealEstate™

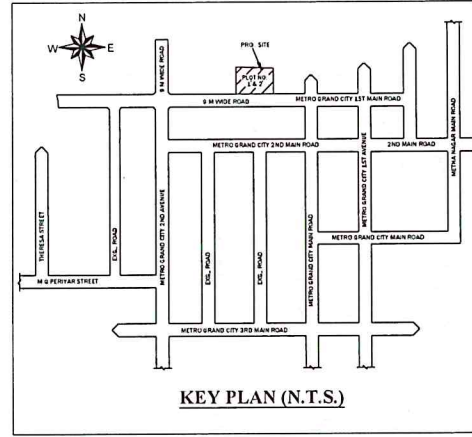




ELEVATION



SECTION ON "AB"



KEY PLAN (N.T.S.)

PLAN INFO
 SURVEY_NO=S.NO:143/1
 PATTI_NO=13532
 TALUK=KUNDRATHUR
 PLOT_NO=1 & 2
 DISTRICT=KANCHEEPURAM
 SINGLE_FAMILY_BLDG=NO
 CRZ=NO
 PLOT_AREA_M2=201.97
 AS_AT_SITE=202.17
 FMB_OR_PLR=201.97
 AS_PER_DOCUMENT=201.97
 AREA_TYPE=OTHERS
 OCCUPANCY_TYPE=RESIDENTIAL
 AVG_PLOT_DEPTH=9.80
 AVG_PLOT_WIDTH=20.00
 ROAD_WIDTH=9.00
 ROAD_LENGTH=250.00
 RWI_DECLARED=YES
 BUILDING_NEAR_TO_RIVER=NO
 BUILDING_NEAR_TO_MOUNMENT=NO
 LAND_USE_ZONE=PRIMARY RESIDENTIAL
 NOC_FOR_CONSTRUCTION_NEAR_MOUNMENT=NO
 JURISDICTION_TYPE=MUNICIPAL
 OSR_APPLICABLE=NO
 PREMIUM_FSI_REQUIRED=NO
 IS_APPROVED_LAYOUT=YES
 IS_SWIMMING_POOL_EXISTS=NO
 IF_HERITAGE_TOWN_LESS_THAN_1KM_RADIUS=NO

PLAN SHOWING THE PROPOSED CONSTRUCTION OF
 GROUND, FIRST & SECOND FLOOR RESIDENTIAL
 BUILDING AT PLOT NO: 1 & 2, KUMUDAM ENCLAVE
 OLD S.NO: 143, PATTI NO: 13532, AS PER PATTI
 S.NO: 143/1, OF KUNDRATHUR VILLAGE,
 KUNDRATHUR TALUK, KANCHEEPURAM DISTRICT,
 KUNDRATHUR MUNICIPALITY LIMIT.

CMDA LAND USE: PRIMARY RESIDENTIAL AREA

SPECIFICATIONS:

1. R.C.C FOOTINGS FOR FOUNDATION IN M20 MIX
2. R.C.C. COLUMNS IN M20 MIX
3. R.C.C. ROOF SLAB AND BEAMS IN M20 MIX
4. 9" BRICK WORK IN CM 1:5 IN SUPER STRUCTURE
5. COUNTRY WOOD DOORS WITH FLUSH SHUTTERS
6. COUNTRY WOOD / UPVC / ALUMINIUM GLAZED WINDOWS
7. INTERNAL PLASTERING IN CM 1:5
8. EXTERNAL PLASTERING IN CM 1:5
9. WEATHERING COURSE IN BRICK JELLY LINE CONCRETE 1:3 MIX

ALL DIMENSIONS ARE IN METER

AREA STATEMENT	SQ.M
PLOT AREA (As Per Document)	201.97
Super Imposed Plot Boundary	201.97
FSI AREA	
PRO.. GROUND FLOOR AREA	97.04
PRO.. FIRST FLOOR AREA	117.69
PRO.. SECOND FLOOR AREA	117.69
TOTAL FSI AREA	332.42
PLOT COVERAGE	58.27 %
FLOOR SPACE INDEX	1.65
NON-FSI AREA	
PRO.. PORTICO AREA	20.65
PRO.. HEAD ROOM AREA	18.92
TOTAL NON-FSI AREA	39.57

JOINERY DETAILS:

	DESCRIPTION	METER
MD	MAIN DOOR	1.06X2.13
D	DOOR	0.91X2.13
D1	TOILET DOOR	0.76X2.13
W	WINDOW	1.89X1.22
W1	WINDOW	1.22X1.22
V	VENTILATOR	0.91X0.61

COLOUR INDEX:

PROPOSED BUILDING		SCALE: (1:100)
EXISTING ROAD		DRAWN BY: V.T.S.K
BOUNDARY LINE		DATE: 06-12-2023

For MP DEVELOPERS

Signature

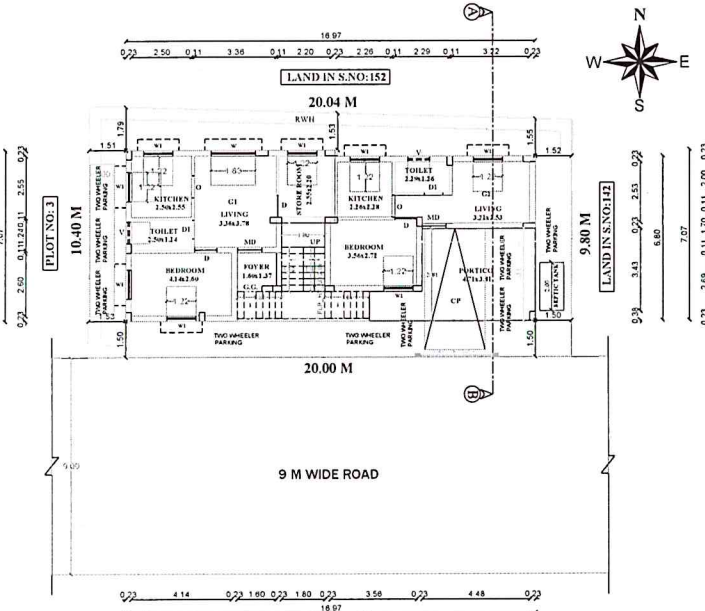
OWNER:

Signature

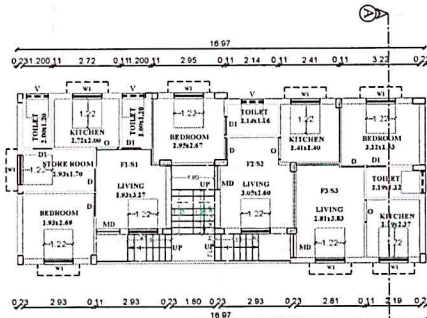
En. S. SATISH KUMAR, M.E.,
 CONSULTING CIVIL ENGINEER & CONTRACTOR
 LICENSED SURVEYOR/REGISTERED ENGINEER
 STRUCTURAL ENGINEER
 PALLANURAI, KANCHEEPURAM
 (REGISTERED CIVIL ENGINEER)
 "THILAGAM CONSTRUCTION & PLANNERS"
 No 15, 2nd MAIN ROAD, NEW COLONY,
 CHIRUPPET, CHENNAI-600 044.
 Cell: 09417 21078, 8510755869
 E-Mail: satishkumar@gmail.com

RGN NO: RE/GR-1/007/LS/2019/00003/47310
 RGN NO: RE305372020
REGISTERED ENGINEER

Designed & Drafted by:
 THILAGAM CONSTRUCTION & PLANNERS
 NO-15, 2ND MAIN ROAD, NEW COLONY,
 CHROME PET-600044. 9941721078, 861075869

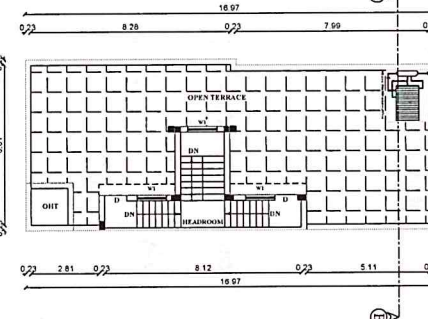


SITE CUM PRO.. GROUND FLOOR PLAN

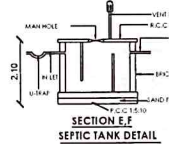


PRO.. FIRST & SECOND FLOOR PLAN

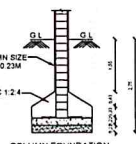
TYPICAL_FLOOR_PLAN=1,2



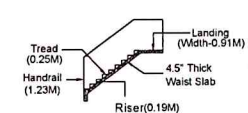
PRO.. TERRACE FLOOR PLAN



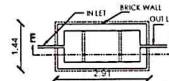
SECTION E-E
 SEPTIC TANK DETAIL



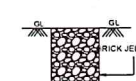
COLUMN FOUNDATION



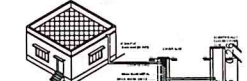
STAIRCASE DETAIL



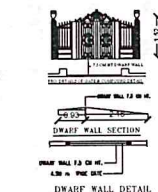
PLAN OF SEPTIC TANK



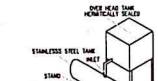
PERCOLATION PIT



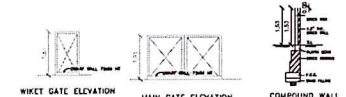
PROPOSED RAIN WATER SYSTEM WITH WELL DETAIL



DWARF WALL DETAIL



SOLAR WATER HEATING SYSTEM



WICKET GATE ELEVATION
 MAIN GATE ELEVATION



COMPOUND WALL DETAIL

LAYOUT APPROVAL DETAILS

P.P.D./L.O. NO: 104/2023
 VIDE LETTER NO: LAYOUT-1/12684/2022
 DATED: 19/04/2023

RERA CERTIFICATE NO: TN/01/LAYOUT/3348/2023
 DATED: 05/09/2023



PLAN INFO
SURVEY_NO=5 NO:143/I
PATTA_NO=13532
TALUK=KUNDRAATHUR
PLOT_NO=3 & 4
DISTRICT=KANCHEEPURAM
SINGLE_FAMILY_BLDG=NO
CRZ=NO
PLOT_AREA_M2=213.17
AS_AT_SITE=213.17
FMB_OR_PLR=213.17
AS_PER_DOCUMENT=215.58
AREA_TYPE=OTHERS
OCCUPANCY_TYPE=RESIDENTIAL
AVG_PLOT_DEPTH=10.40
AVG_PLOT_WIDTH=20.60
ROAD_WIDTH=9.00
ROAD_LENGTH=250.00
RWH_DECLARED=YES
BUILDING_NEAR_TO_RIVER=NO
BUILDING_NEAR_TO_MOUNTAIN=NO
LAND_USE_ZONE=PRIMARY RESIDENTIAL
NOC_FOR_CONSTRUCTION_NEAR_MOUNTAIN=NO
JURISDICTION TYPE=MUNICIPAL
OSR_APPLICABLE=NO
PREMIUM_FSI_REQUIRED=NO
IS_APPROVED_LAYOUT=YES
IS_SWIMMING_POOL_EXISTS=NO
IF HERITAGE TOWN LESS THAN 1KM RADIUS=NO



TYPICAL FLOOR PLAN=1,2

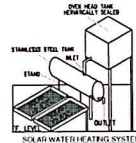
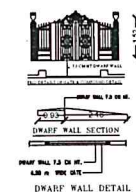
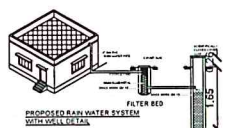
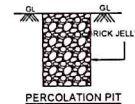


LAYOUT APPROVAL DETAILS

P.P.D./L.O. NO: 104/2023

VIDE LETTER NO: LAYOUT-1/12684/2022
DATED: 19/04/2023

RERA CERTIFICATE NO: TN/01/LAYOUT/3348/2023
DATED: 05/09/2023



PLAN SHOWING THE PROPOSED CONSTRUCTION OF
GROUND, FIRST & SECOND FLOOR RESIDENTIAL
BUILDING AT PLOT NO: 3 & 4, KUMUDAM ENCLAVE
OLD S.NO: 143, PATTA NO: 13532, AS PER PATTA
S.NO: 143/1, OF KUNDRATHUR VILLAGE,
KUNDRATHUR TALUK, KANCHEEPURAM DISTRICT.
KUNDRATHUR MUNICIPALITY LIMIT.

CMDA LAND USE : PRIMARY RESIDENTIAL AREA

SPECIFICATIONS:

1. R.C.C FOOTINGS FOR FOUNDATION IN M20 MIX
2. R.C.C. COLUMNS IN M20 MIX
3. R.C.C. ROOF SLAB AND BEAMS IN M20 MIX
4. 9" BRICK WORK IN C.M 1:5 IN SUPER STRUCTURE
5. COUNTRY WOOD DOORS WITH FLUSH SHUTTERS
6. COUNTRY WOOD / UPVC / ALUMINIUM GLAZED WINDOWS
7. INTERNAL PLASTERING IN C.M 1:4
8. EXTERNAL PLASTERING IN C.M 1:5
9. WEATHERING COURSE IN BRICK JELLY LIME CONCRETE 1:3 MIX

ALL DIMENSIONS ARE IN METER

AREA STATEMENT	SQ.M
PLOT AREA (As Per Document)	213.58
Super Imposed Plot Boundary	213.17

FSI AREA	
PRO., GROUND FLOOR AREA	109.78
PRO., FIRST FLOOR AREA	127.96
PRO., SECOND FLOOR AREA	127.96
TOTAL FSI AREA	365.70
PLOT COVERAGE	60.03 %
FLOOR SPACE INDEX	1.72
NON-FSI AREA	
PRO., PORTICO AREA	18.17
PRO., HEAD ROOM AREA	20.16
TOTAL NON-FSI AREA	38.33

<u>JOINERY DETAILS:</u>		
	DESCRIPTION	METER
MD	MAIN DOOR	1.06X2.13
D	DOOR	0.91X2.13
D1	TOILET DOOR	0.76X2.13
W	WINDOW	1.83X1.22
W1	WINDOW	1.22X1.22
V	VENTILATOR	0.91X0.61

COLOUR INDEX:		
PROPOSED BUILDING		SCALE : (1 : 100)
EXISTING ROAD		DRAWN BY: V.T.S.K
BOUNDARY LINE		DATE: 06-12-2023

For MP DEVELOPERS

OWNER:

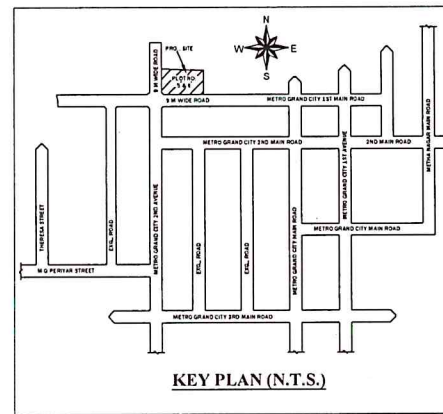
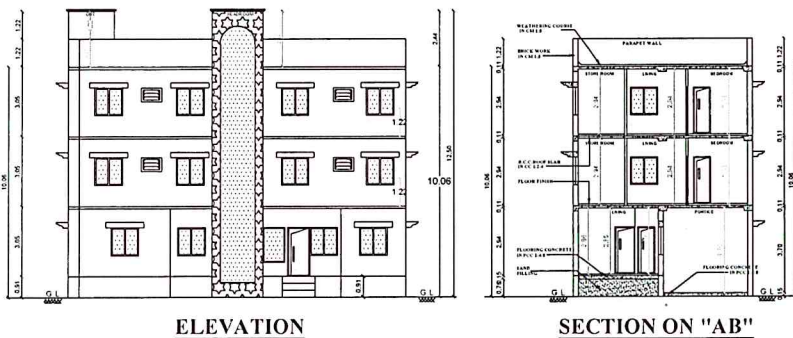

Er. S. SATHISH KUMAR, M.E.,
 CONSULTING CIVIL ENGINEER & CONTRACTORS
 LICENSED SURVEYOR / REGISTERED ENGINEER
 STRUCTURAL ENGINEER
 PALLAPURAM, ANAPARTHI
 TAYANAR PALLE, MARAVANA NIZAR MURUGUTY
 GREATER DEENAR CORPORATION REG-2022
 "THE LAGAN CONSTRUCTION & PLANNERS"
 No.15, 2ND MAIN ROAD, NEW COLONY,
 CHENCHERPET, CHENNAI-600 044.
 Call: 99471 21078, 9617556689
 E-Mail: sathish_meece@gmail.com

RGN NO: RE/GR-1/007/LS/2019/00003/47310

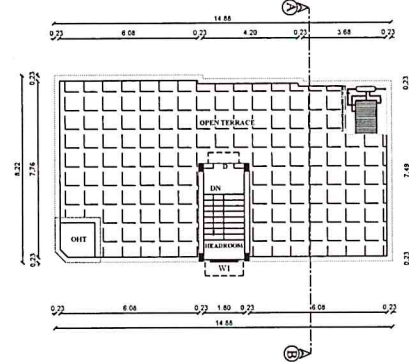
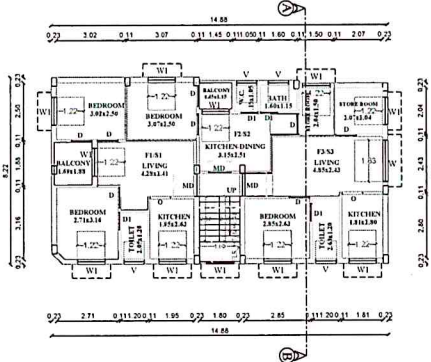
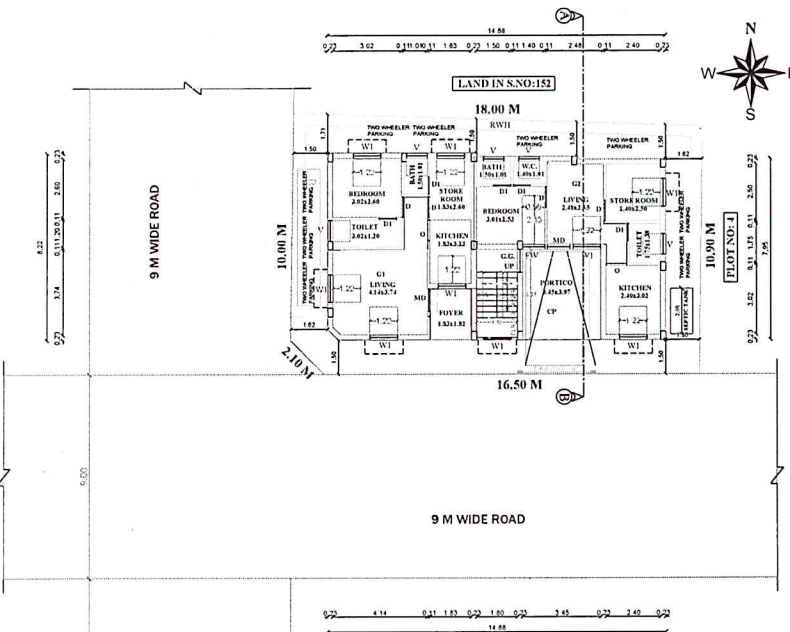
RGN NO: RE305372020

REGISTERED ENGINEER

Designed & Drafted by:
THILAGAM CONSTRUCTION & PLANNERS
NO:15, 2ND MAIN ROAD, NEW COLONY,
CHROMEPET-600044. 9941721078, 8610758689

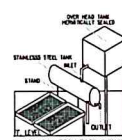
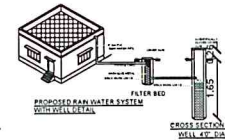
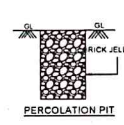
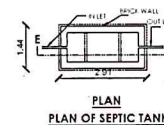
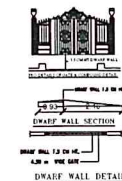
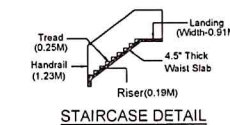
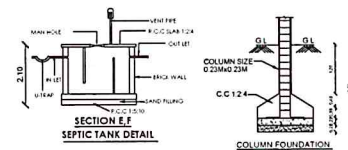


PLAN INFO
 SURVEY NO=S.NO.143/1
 PATT A NO=13532
 TALUK=KUNDRATHUR
 PLOT NO=S & 6
 DISTRICT=KANCHEEPURAM
 SINGLE FAMILY BLDG=NO
 CRZ=NO
 PLOT AREA M2=200.36
 AS AT SITE=200.36
 FMB OR PLR=200.36
 AS PER DOCUMENT=201.04
 AREA TYPE=OTHERS
 OCCUPANCY TYPE=RESIDENTIAL
 AVG PLOT DEPTH=10.90
 AVG PLOT WIDTH=18.00
 ROAD WIDTH=9.00
 ROAD LENGTH=250.00
 RWH DECLARED=YES
 BUILDING NEAR TO RIVER=NO
 BUILDING NEAR TO MOUNTAIN=NO
 LAND USE ZONE=PRIMARY RESIDENTIAL
 NOC FOR CONSTRUCTION NEAR MOUNTAIN=NO
 JURISDICTION TYPE=MUNICIPAL
 OSR APPLICABLE=NO
 PREMIUM FSI REQUIRED=NO
 IS APPROVED LAYOUT=YES
 IS SWIMMING POOL EXISTS=NO
 IF HERITAGE TOWN LESS THAN 1KM RADIUS=NO



TYPICAL FLOOR PLAN=1,2

TYPICAL FLOOR PLAN=1,2



LAYOUT APPROVAL DETAILS:
 P.P.D./L.O. NO: 104/2023
 VIDE LETTER NO: LAYOUT-1/12684/2022
 DATED: 19/04/2023
 RERA CERTIFICATE NO: TN/01/LAYOUT/3348/2023
 DATED: 05/09/2023

PLAN SHOWING THE PROPOSED CONSTRUCTION OF
 GROUND, FIRST & SECOND FLOOR RESIDENTIAL
 BUILDING AT PLOT NO: S & 6, KUMUDAM ENCLAVE
 OLD S.NO: 143, PATT A NO: 13532, AS PER PATT A
 S.NO: 143/1, OF KUNDRATHUR VILLAGE,
 KUNDRATHUR TALUK, KANCHEEPURAM DISTRICT,
 KUNDRATHUR MUNICIPALITY LIMIT.

CMDA LAND USE : PRIMARY RESIDENTIAL AREA

- SPECIFICATIONS:**
1. R.C.C FOOTINGS FOR FOUNDATION IN M20 MIX
 2. R.C.C. COLUMNS IN M20 MIX
 3. R.C.C. ROOF SLAB AND BEAMS IN M20 MIX
 4. 9" BRICK WORK IN CM 1:5 IN SUPER STRUCTURE
 5. COUNTRY WOOD DOORS WITH FLUSH SHUTTERS
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 7. INTERNAL PLASTERING IN CM 1:4
 8. EXTERNAL PLASTERING IN CM 1:5
 9. WEATHERING COURSE IN BRICK JELLY LIME CONCRETE 1:5 MIX

ALL DIMENSIONS ARE IN METER

AREA STATEMENT	SQ.M
PLOT AREA (As Per Document)	201.04
Super Imposed Plot Boundary	200.36
FSI AREA	
PRO.. GROUND FLOOR AREA	106.81
PRO.. FIRST FLOOR AREA	120.50
PRO.. SECOND FLOOR AREA	120.50
TOTAL FSI AREA	347.81
PLOT COVERAGE	60.14 %
FLOOR SPACE INDEX	1.74
NON-FSI AREA	
PRO.. PORTICO AREA	13.69
PRO.. HEAD ROOM AREA	9.83
TOTAL NON-FSI AREA	23.52

JOINERY DETAILS:

	DESCRIPTION	METER
MD/GG	MAIN DOOR/GRILL GATE	1.00X2.13
D	DOOR	0.91X2.13
D1	TOILET DOOR	0.76X2.13
W	WINDOW	1.83X1.27
W1	WINDOW	1.22X1.22
FW	WINDOW	0.98X2.13
V	VENTILATOR	0.91X0.76

COLOUR INDEX:

PROPOSED BUILDING	SCALE : (1 : 100)
EXISTING ROAD	DRAWN BY: V.T.S.K
BOUNDARY LINE	DATE: 06-12-2023

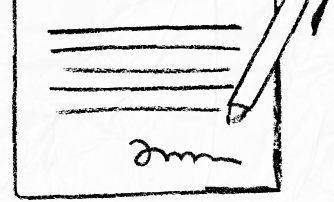
For MP DEVELOPERS

OWNER:

E.S. SATHISH KUMAR, M.E.,
 CONSULTING CIVIL ENGINEER & ARCHITECT
 LICENSED SURVEYOR & REGISTERED ENGINEER
 STRUCTURAL ENGINEER
 PALLAPURAM, KANCHEEPURAM
 TAMILNADU, INDIA
 THILAGAM CONSTRUCTION & PLANNERS
 No 15, 2nd MAIN ROAD, NEW COLONY,
 CHROMPET, CHennai-600044.
 Cell: 99411 21078, 9810758689
 E-Mail: sathishkumar@thilagam.com

RG N NO: RE/GR-1/007/LS/2019/000037/47310
RG N NO: RE305372020
REGISTERED ENGINEER

Designed & Drafted by:
 THILAGAM CONSTRUCTION & PLANNERS
 NO.15, 2ND MAIN ROAD, NEW COLONY,
 CHROMPET-600044. 9941121078, 8610758689



our services doesn't just end there



Buying & Selling Services

Property Buying Assistance, Property Selling Support, Market Price Analysis, Owner Outreach and Negotiation.



Legal & Documentation Services

Certified EC, Patta, legal opinions, property verification, due diligence, litigation solutions, and legal heir certificates.



Property Development & Approvals

Building plan approvals, construction, layout and sub-division approvals, zone conversion, and occupancy certification.



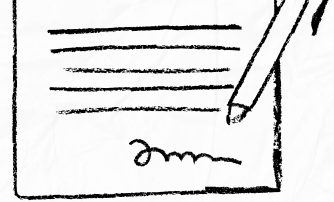
NRI & Investment Services

Escrow Services, Rentals, Litigation Solutions, Property Valuation and Property Management



Compliance & Special Services

Demolition, Vaasthu checks, regularization of unauthorized buildings, and office space solutions.



 **empowering your real estate decisions**
with smart tools



Property Valuation & Cost Estimation

Guideline Value, Apartment Composite Value, Stamp Duty & Registration Fees Calculator, Building Value Calculator, Capital Gains Calculator, Area Unit Converter, Length Unit Converter



Ownership, Compliance & Legal Verification

Encumbrance Certificate (EC) Search, Find Your SRO, Temple Property Check, WAQF Property Check, View Patta/Chitta, View FMB, Patta Analyzer, EC Analyzer



Zoning & Land Use Analysis

Land Use Zone Finder, CRZ Zone Check, Aquifer Zone Check, CBA Check, EWS Check, Road Width Check, Proposed Road Widening Check, FSI Calculator



Property Documentation & Workflow Tools

Forms & Templates, Document Generator, Document Translation, Dictionary



Vastu & Property Management Tools

Home Vastu Shastra, Plot Vastu Shastra, Property Management



We're honored to be part of your
real estate journey

3/350/2 Mettukuppam,
OMR Thoraipakkam,
Chennai, India

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www.verified.realestate