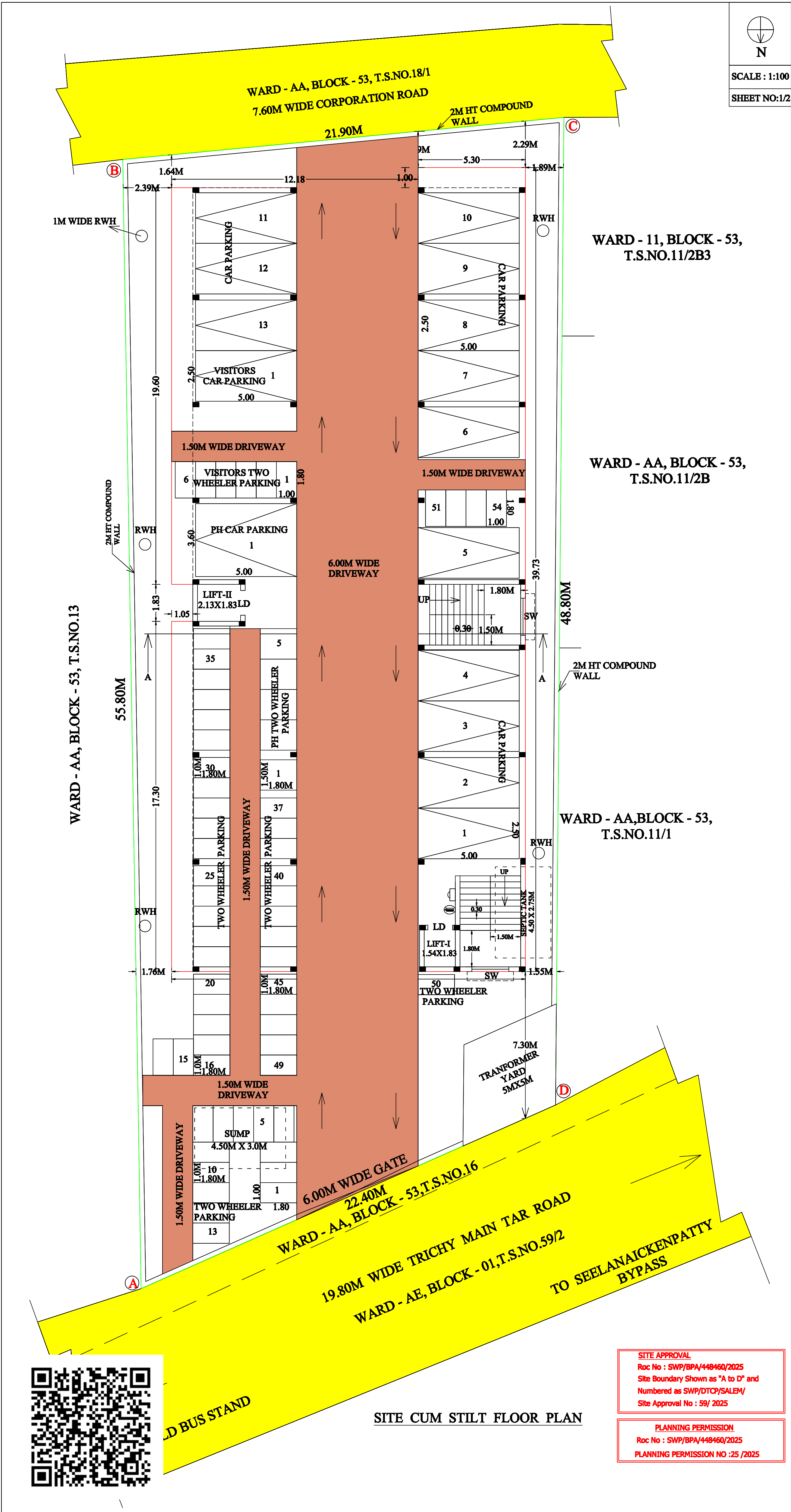




SCALE : 1:100
SHEET NO:1/2

PLAN SHOWING THE PROPOSED CONSTRUCTION OF R.C.C TERRACED ROOF IN STILT , FIRST, SECOND FLOOR COMMERCIAL (OFFICE) BUILDING IN OLD.WARD - H, BLOCK - 53, T.S.NO - 12, NEW.WARD - AA, BLOCK - 53, T.S.NO - 12, AT SALEM MUNICIPAL CITY CORPORATION, SALEM TALUK,SALEM DISTRICT.

NAME OF THE APPLICANT :
Mr.A.P.VELLIYANGIRI,S/O.Mr.PALANISAMY CHETTIAR.

JOINERY DETAILS :

DD - DOUBLE DOOR	-	1.83 X 2.13
LD - LIFT DOOR	-	1.22 X 2.10
D - DOOR	-	1.00 X 2.13
D1 - DOOR-1	-	0.76 X 2.10
SD - SWING DOOR	-	1.00 X 2.10
SW - STAIR WINDOW	-	1.83 X 1.83
W - WINDOW	-	1.83 X 1.52
V - VENTILATOR	-	1.83 X 0.61
V1 - VENTILATOR	-	0.91 X 0.61
JV - JOLLY VENTILATOR	-	2.13 X 0.61
JV1 - JOLLY VENTILATOR	-	1.83 X 0.61

AREA DETAILS :
AS PER DOCUMENT = 1113.24
AS PER TSLR = 1113.50
AS PER SITE = 1106.94

Sq.Mtrs

AREA OF THE RCC ROOF CONSTRUCTION IN

DESCRIPTION	F.S.I AREA	NON F.S.I	TOTAL BUILT UP AREA
STILT FLOOR AREA	—	680.46	680.46
FIRST FLOOR AREA	680.46	—	680.46
SECOND FLOOR AREA	680.46	—	680.46
HEAD ROOMS & LIFT AREA	—	91.38	91.38
AREA OF THE TOTAL CONSTRUCTION	1360.92	771.84	2132.76

FSI AREA = 1360.92 Sq.mt
FLOOR SPACE INDEX = $\frac{1360.92}{1106.94} = 1.23$
PLOT COVERAGE = $\frac{680.46}{1106.94} \times 100 = 61.47\%$

PARKING CALCULATION :-

1.OFFICE (FIRST & SECOND FLOOR)

$680.46 + 680.46 = 1360.92$

CAR PARKING EVERY 100Sq.mt = $(1360.92 \times 0.75)/100 = 11nos$

VISITOR CAR PARKING = 1nos

TOTAL = 12nos

TWO WHEELER PARKING EVERY 25.00Sq.mt = $(1360.92 \times 0.75)/25 = 41nos$

VISITOR TWO WHEELER PARKING = 5nos

TOTAL = 46nos

PARKING DETAILS PROVIDED

	NORMAL CAR	VISITOR	PH CAR 10 %	TOTAL
CAR PARKING	13	1	1	15
TWO WHEELER	54	6	5	65

SITE BOUNDARY SHOWN AS A TO D

PROPOSED BUILDING SHOWN

EXISTING ROAD SHOWN

ALL DIMENSIONS ARE IN METER

SCALE 1:100

(FE) FIRE EXTINGUISHER -

(FA) FIRE ALARAM -

(RWH)RAIN WATER HARVESTING -

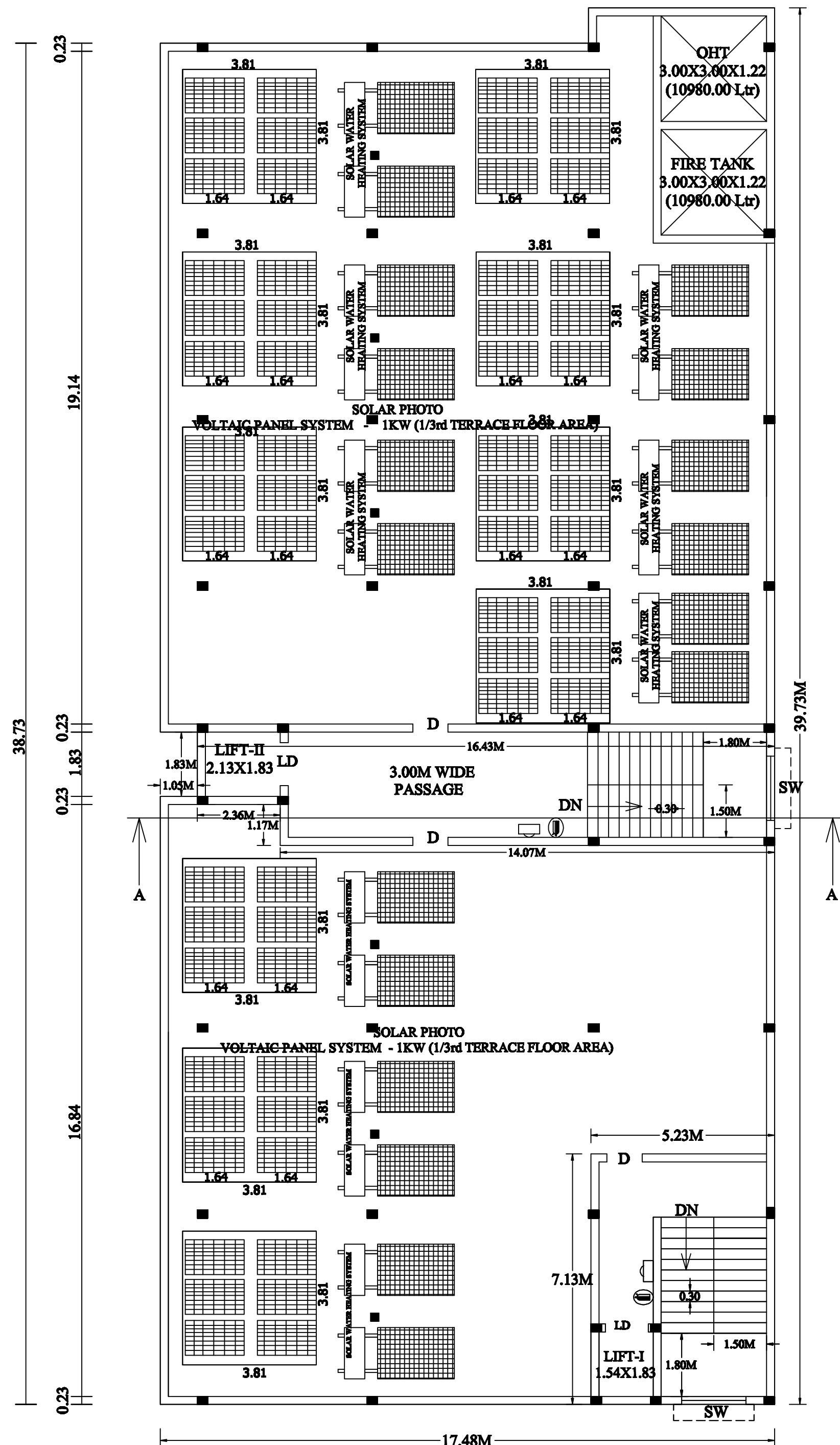
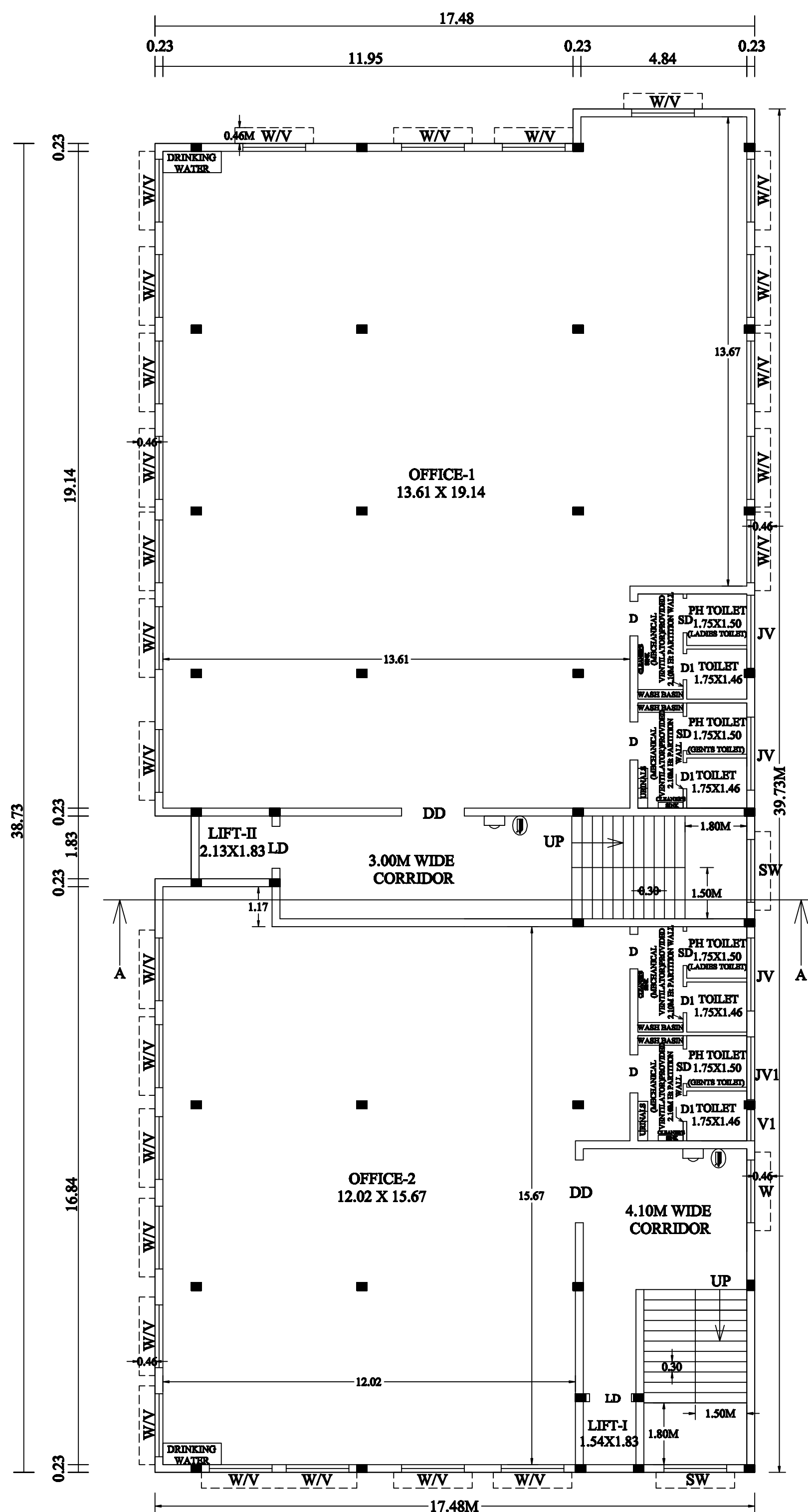
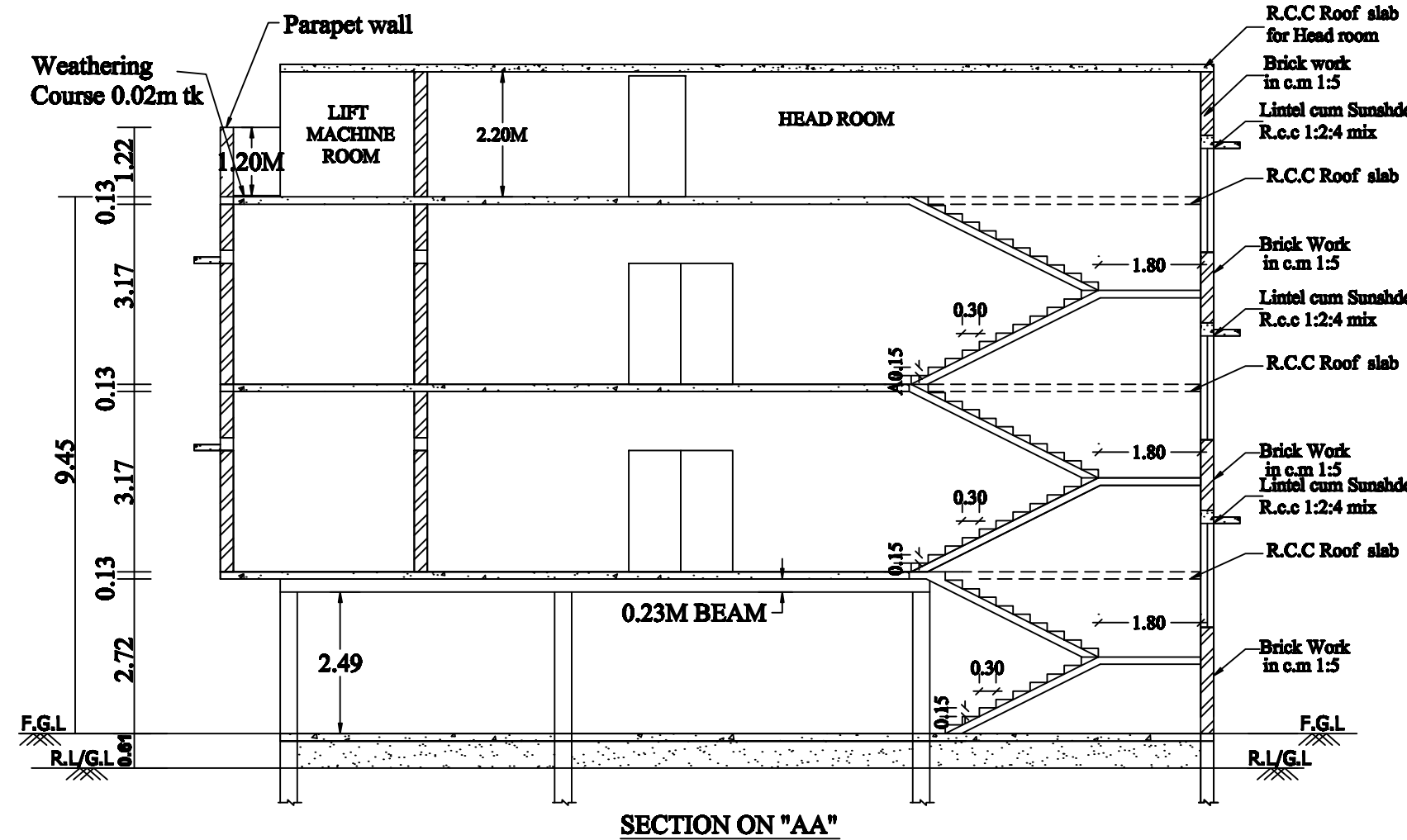
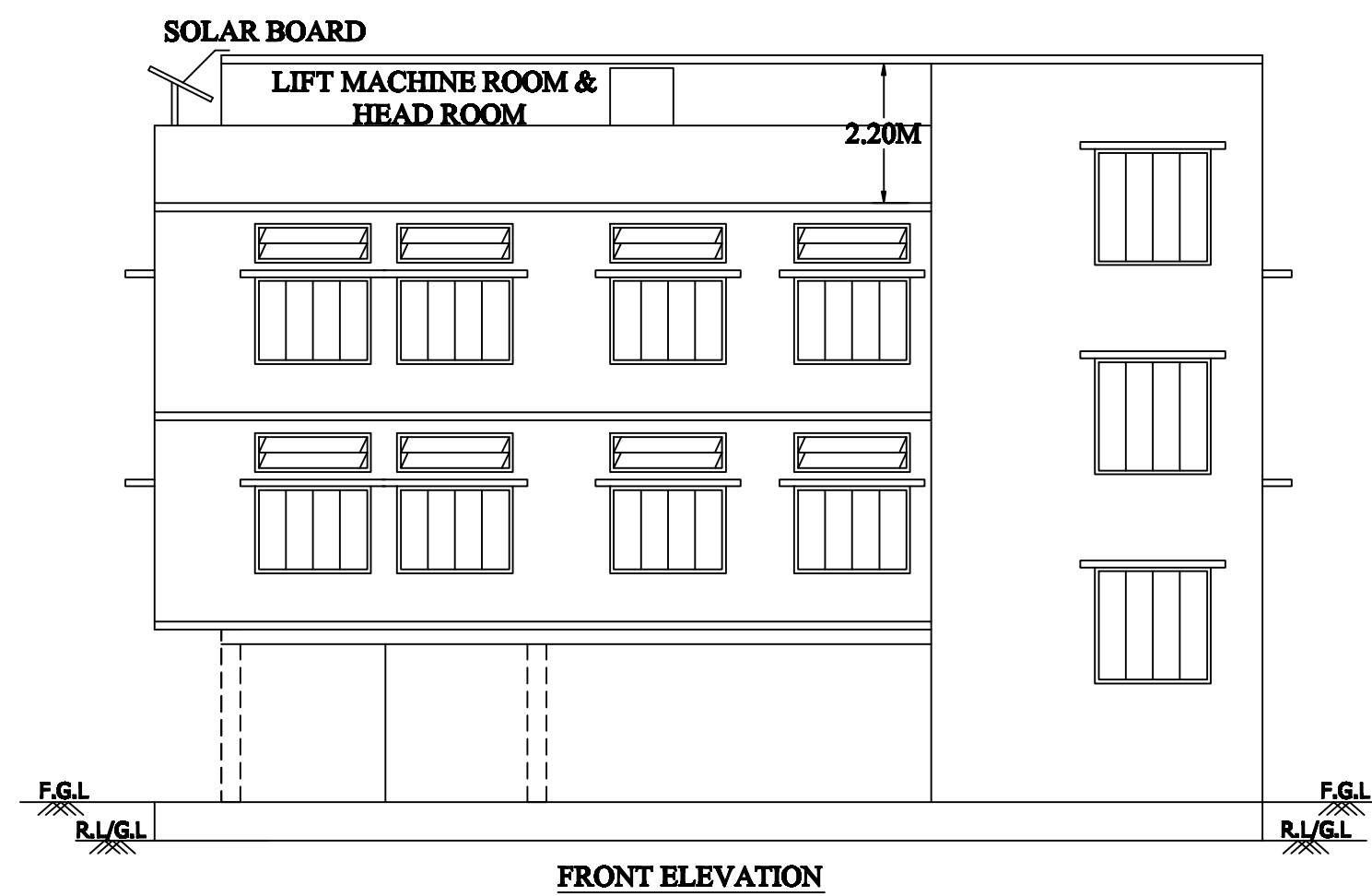
APPLICANT:-

ENGINEER/STRUCTURAL:-

Er.D.Radhakrishnan,B.E.(Civil)
Registered Engineer,
Registration SLPA No. 02/RE-1/2024-29
Cell: 94433 07360
Cell: 79047 61420

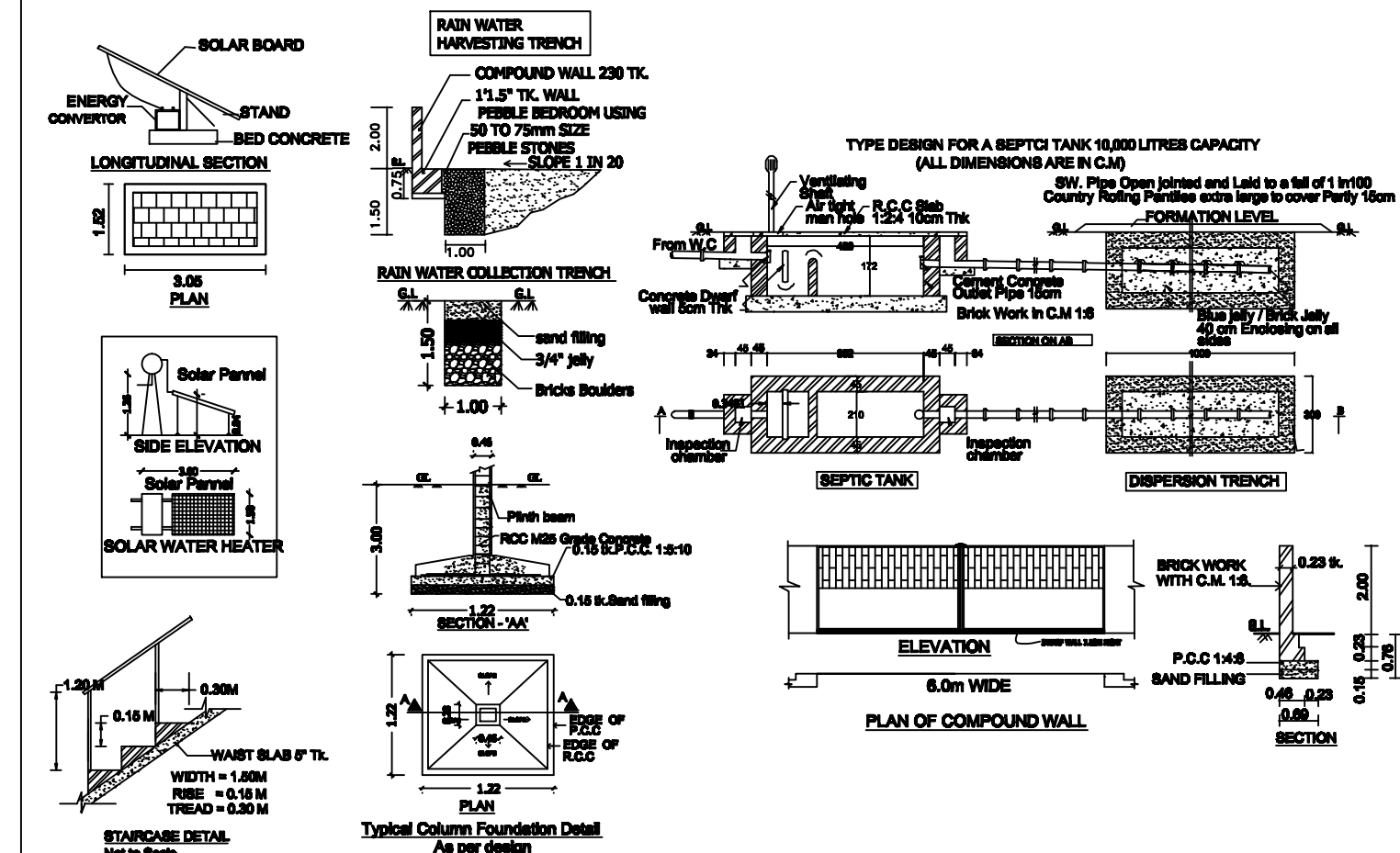
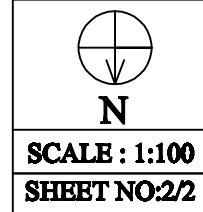
Er. P. ASAITHAMBI,
B.E., M.Tech., M.B.A., M.I.E., F.I.V., M.Sc.(RV)
Asst. Executive Engineer, PWD (Road),
Chartered Civil Engineer & Approved Survey & Const. Approved Person Engineer under TNPB Act, 1955
Fairlands Cooperative Housing Society Building,
Opp. to Canara Bank, Sarathi College Road,
Fairlands, Salem - 636 016.

Er.P. ASAITHAMBI, M.Tech.,
Construction Engineer,
Fairlands, Salem-636 016.



PLAN SHOWING THE PROPOSED CONSTRUCTION OF R.C.C TERRACED ROOF IN STILT, FIRST, SECOND FLOOR COMMERCIAL (OFFICE) BUILDING IN OLD.WARD - H, BLOCK - 53, T.S.NO - 12, NEW.WARD - AA, BLOCK - 53, T.S.NO - 12, AT SALEM MUNICIPAL CITY CORPORATION, SALEM TALUK, SALEM DISTRICT.

NAME OF THE APPLICANT :
Mr.A.P.VELLIYANGIRI, S/O.Mr.PALANISAMY CHETTIAR.



AREA DETAILS : Sq.Mtrs
AS PER DOCUMENT = 1113.24
AS PER TSLR = 1113.50
AS PER SITE = 1106.94

AREA OF THE RCC ROOF CONSTRUCTION IN

DESCRIPTION	F.S.I AREA	NON F.S.I	TOTAL BUILT UP AREA
STILT FLOOR AREA	—	680.46	680.46
FIRST FLOOR AREA	680.46	—	680.46
SECOND FLOOR AREA	680.46	—	680.46
HEAD ROOMS & LIFT AREA	—	91.38	91.38
AREA OF THE TOTAL CONSTRUCTION	1360.92	771.84	2132.76

FSI AREA = 1360.92 Sq.mt
FLOOR SPACE INDEX = $\frac{1360.92}{1106.94} = 1.23$
PLOT COVERAGE = $\frac{680.46}{1106.94} \times 100 = 61.47\%$

JOINERY DETAILS :

DD - DOUBLE DOOR	- 1.83 X 2.13
LD - LIFT DOOR	- 1.22 X 2.10
D - DOOR	- 1.00 X 2.13
D1 - DOOR-1	- 0.76 X 2.10
SD - SWING DOOR	- 1.00 X 2.10
SW - STAIR WINDOW	- 1.83 X 1.83
W - WINDOW	- 1.83 X 1.52
V - VENTILATOR	- 1.83 X 0.61
V1 - VENTILATOR	- 0.91 X 0.61
JV - JOLLY VENTILATOR	- 2.13 X 0.61
JV1 - JOLLY VENTILATOR	- 1.83 X 0.61

SITE BOUNDARY SHOWN AS A TO D	-
PROPOSED BUILDING SHOWN	-
EXISTING ROAD SHOWN	-
(FE) FIRE EXTINGUISHER	-
(FA) FIRE ALARM	-
(RWH) RAIN WATER HARVESTING	-
ALL DIMENSIONS ARE IN METER	SCALE 1:100

APPLICANT:-

Signature

SITE APPROVAL
Roc No : SWP/BPA/448460/2025
Site Boundary Shown as 'A to D' and Numbered as SWP/DTCP/SALEM/
Site Approval No : 59/ 2025

PLANNING PERMISSION
Roc No : SWP/BPA/448460/2025
PLANNING PERMISSION NO : 25 /2025

ENGINEER/STRUCTURAL:-

Signature
Er.D.Radhakrishnan, B.E.(Civil)
Registered Engineer,
Registration SLPA No. 02/RE-1/2024-29
Cell: 94433 07360
Cell: 79047 61420

Signature
Er. P. ASATHAMBI
B.E., M.Tech., M.S.A., M.I.E., P.L.V., M.S.(P.V.)
Asst. Executive Engineer, PWD (Roads),
Chennai City Engineer & Surveyor, Salem &
Govt. Approved Panel Engineer under TNPB Act, 1985
Fairlands Cooperative Housing Society Building,
Opp. to Central Bank, Sarathi College Road,
Fairlands, Salem - 636 016.

Signature
Er.P. ASATHAMBI, M.Tech.,
Construction Engineer,
Fairlands, Salem-636 016.