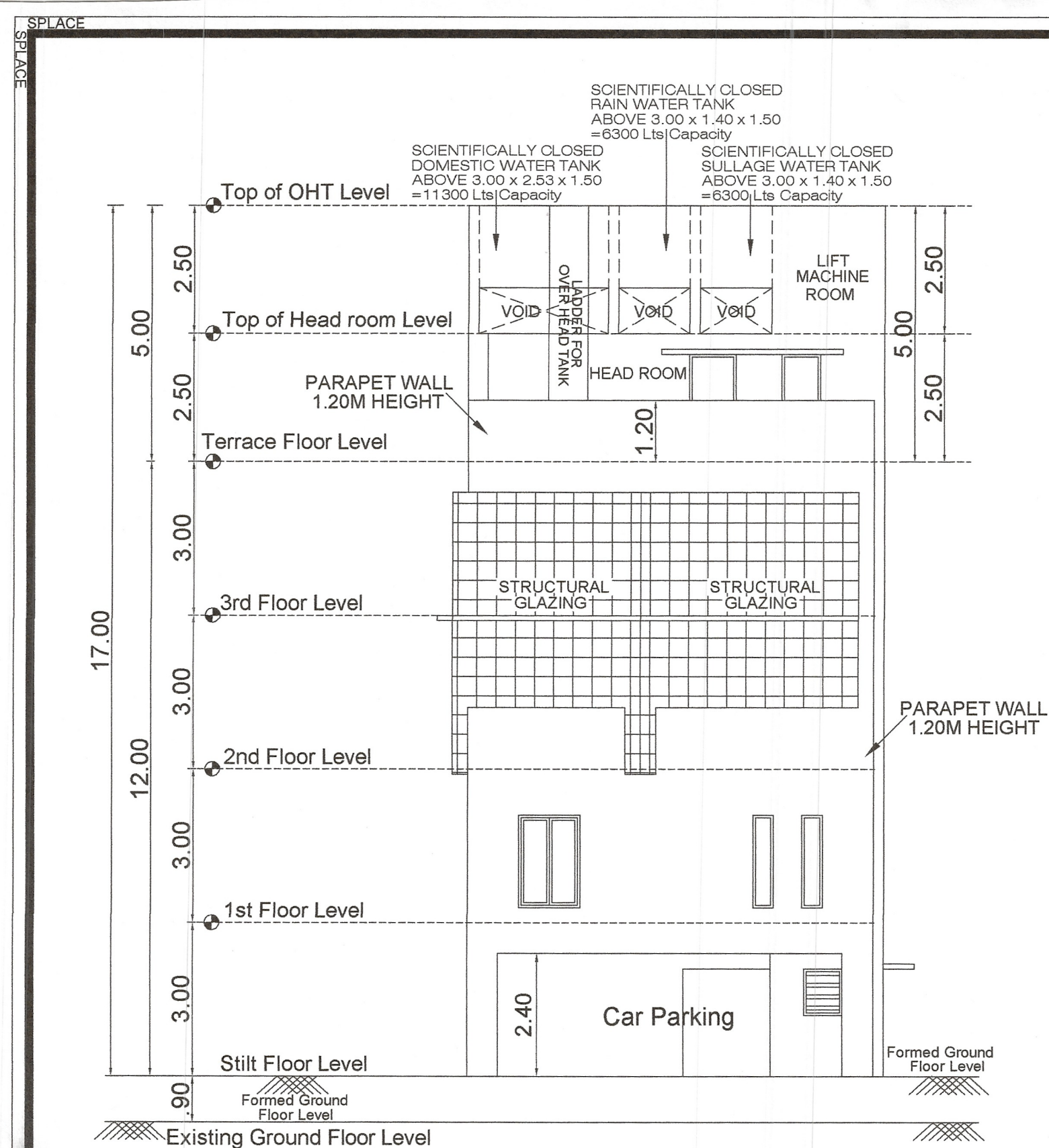
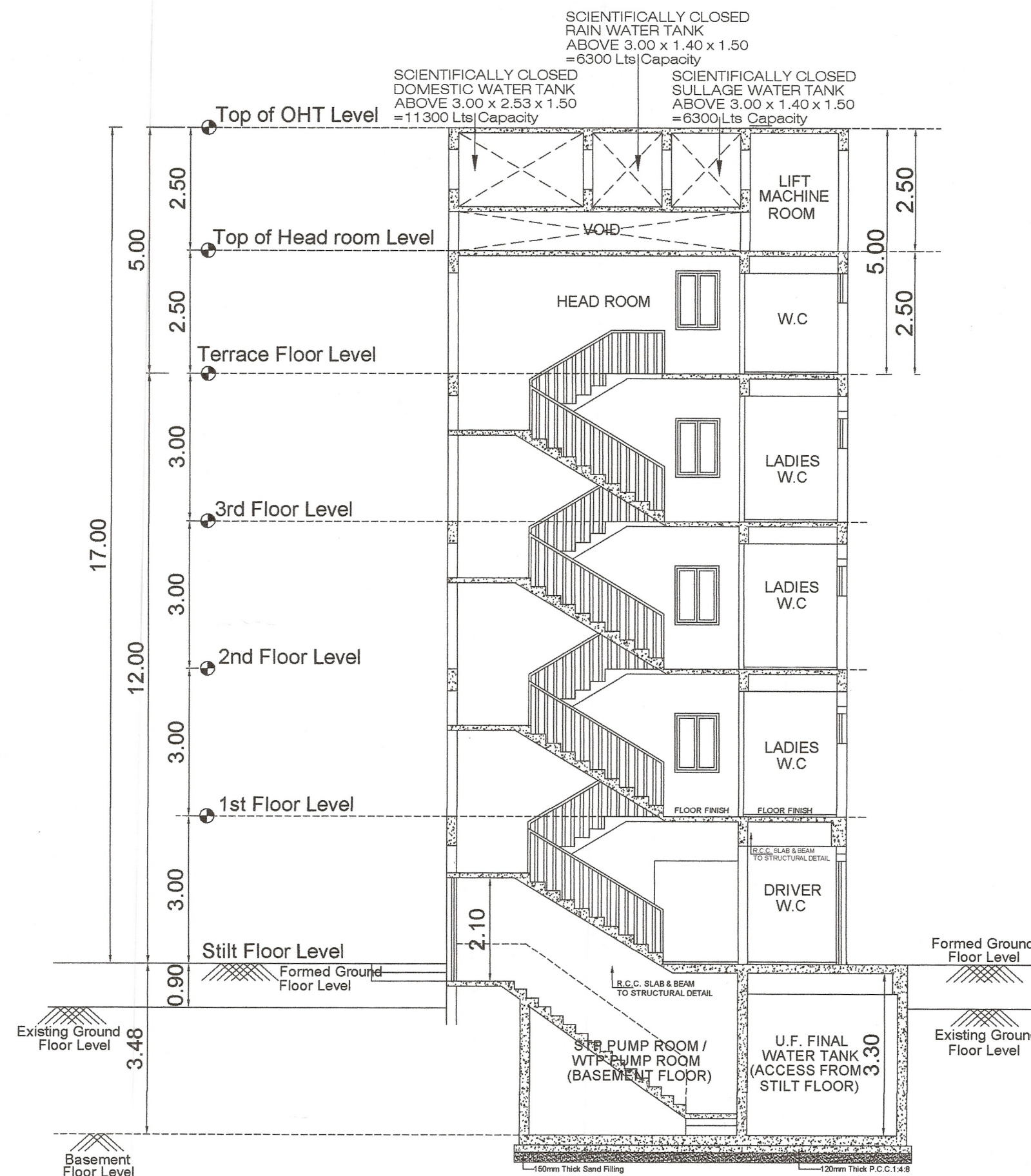
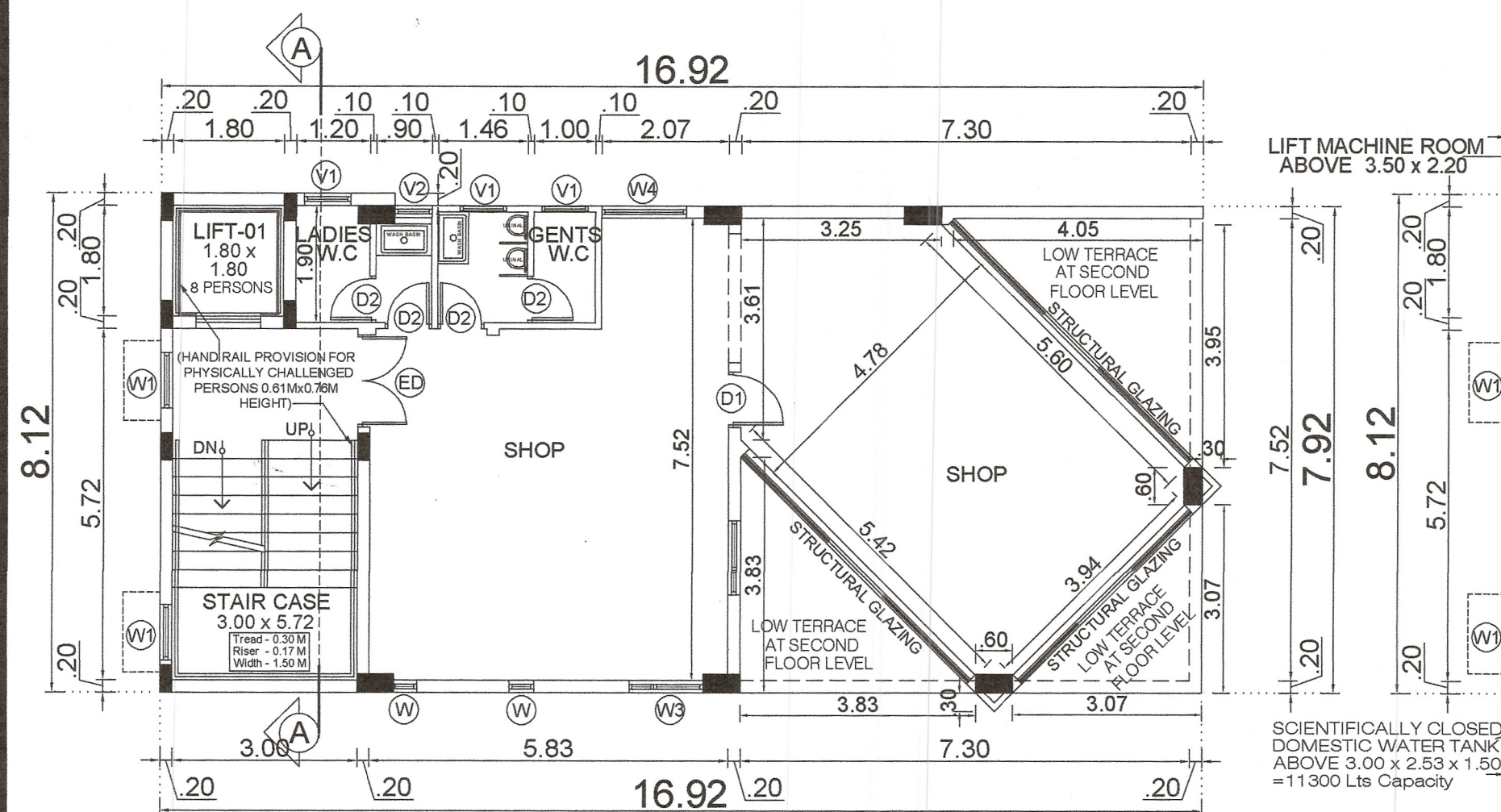




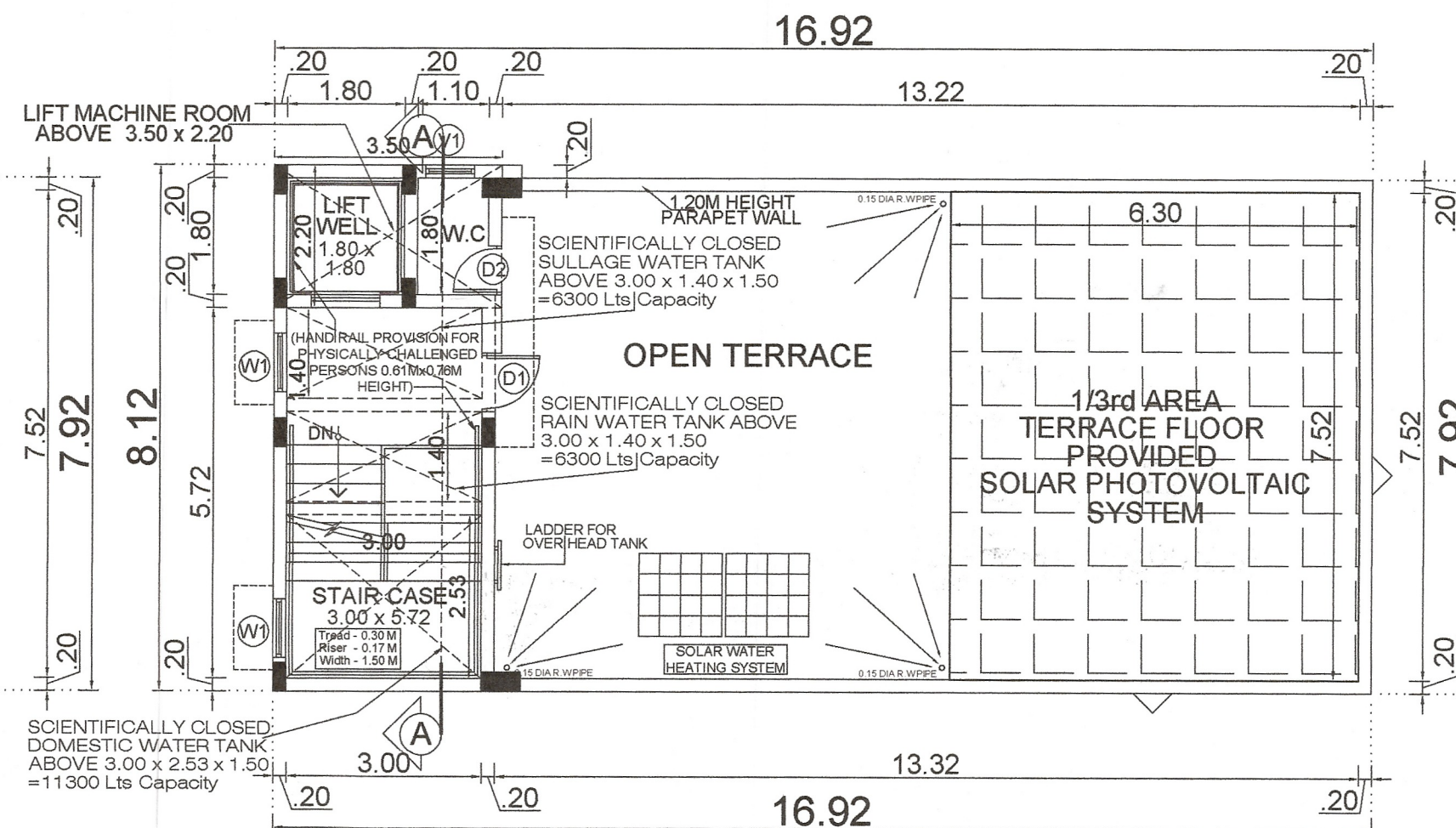
FRONT ELEVATION (EAST SIDE)



SECTION ON "A - A"



THIRD FLOOR PLAN



TERRACE FLOOR PLAN

JOB TITLE
PLAN SHOWING THE PROPOSED CONSTRUCTION OF
BASEMENT + STILT FLOOR + 3 FLOOR'S COMMERCIAL
SHOP BUILDING AT PLOT NO : CLUB HOUSE,
KOSMOS SOLARIS, 10.0M WIDE EXISTING ROAD &
7.20M WIDE EXISTING ROAD, PUDUPAKKAM,
CHENGALPATTU - 603 103. COMPRISED IN OLD
SURVEY NO.95/3B, AS PER PATTA NO :6335,
NEW SURVEY NO.95/3B1 OF PUDUPAKKAM VILLAGE,
VANDALUR TALUK, CHENGALPATTU DISTRICT.
PUDUPAKKAM PANCHAYAT,
THIRUPORUR PANCHAYAT UNION LIMIT.

SPECIFICATIONS:

FOUNDATION:
R.C.C. PILE FOUNDATION OVER A BED OF 1:1.5:3 SAND FILLING.
R.C. COLUMN FOUNDATION AND TIE (PLINTH) BEAMS
OVER A BED OF P.C.C 1:2:4 SAND CUSHIONS.

SUPER STRUCTURE:
100mm THK. INTERNAL & 200mm THK. EXTERNAL WALLS
IN C.M 1:4 WITH PLASTER IN C.M 1:4

R.C.C. WORK:
R.C. COLUMNS, BEAMS, SLABS, LINTELS, AND SUNSHADES
IN M25 MIX ADEQUATELY REINFORCED.

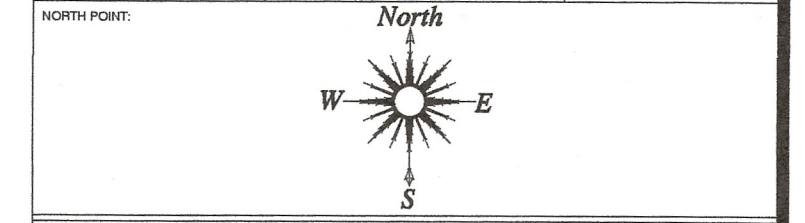
FLOORING:
CERAMIC FLOORING.

WEATHERING COURSE:
ONE SET OF BRICK JELLY LIME CONCRETE MIXED WITH
CRUDE OIL. POINTED AND LAID TO SLOPE.

NOTE:
UNDER GROUND SUMP AND OVER HEAD WATER TANK ARE
SCIENTIFICALLY CLOSED.

SCHEDULE OF JOINERY

TYPE	DESCRIPTION	SIZE
ED	Entrance Door	1.50 x 2.10
D1	Door	0.90 x 2.10
D2	Door	0.76 x 2.10
W	Window	0.40 x 1.80
W1	Window	0.90 x 1.80
W2	Window	1.00 x 1.80
W3	Window	1.20 x 1.80
W4	Window	1.37 x 1.80
W5	Window	1.50 x 1.80
V1	Ventilator	0.75 x 0.90
V2	Ventilator	0.80 x 0.90



ALL DIMENSION ARE IN METRE

COLOUR INDEX:-

PROPOSED = ☐

BOUNDARY = ☐

ROAD = ☐

GPA / OWNER SIGNATURE

For URBANDO DEVELOPERS LLP

REGISTERED ENGINEER / ARCHITECT

REGISTERED STRUCTURAL ENGINEER

C. KANNAN, B.E., M.E., (Structure)
Structural Engineer,
DTCP Reg. No. CGSR/NGSE/3- F/1905/052
Door No: 21, 4th Main Road,
Indira Nagar, Chennai - 600 020.

REGISTERED CONSTRUCTION ENGINEER

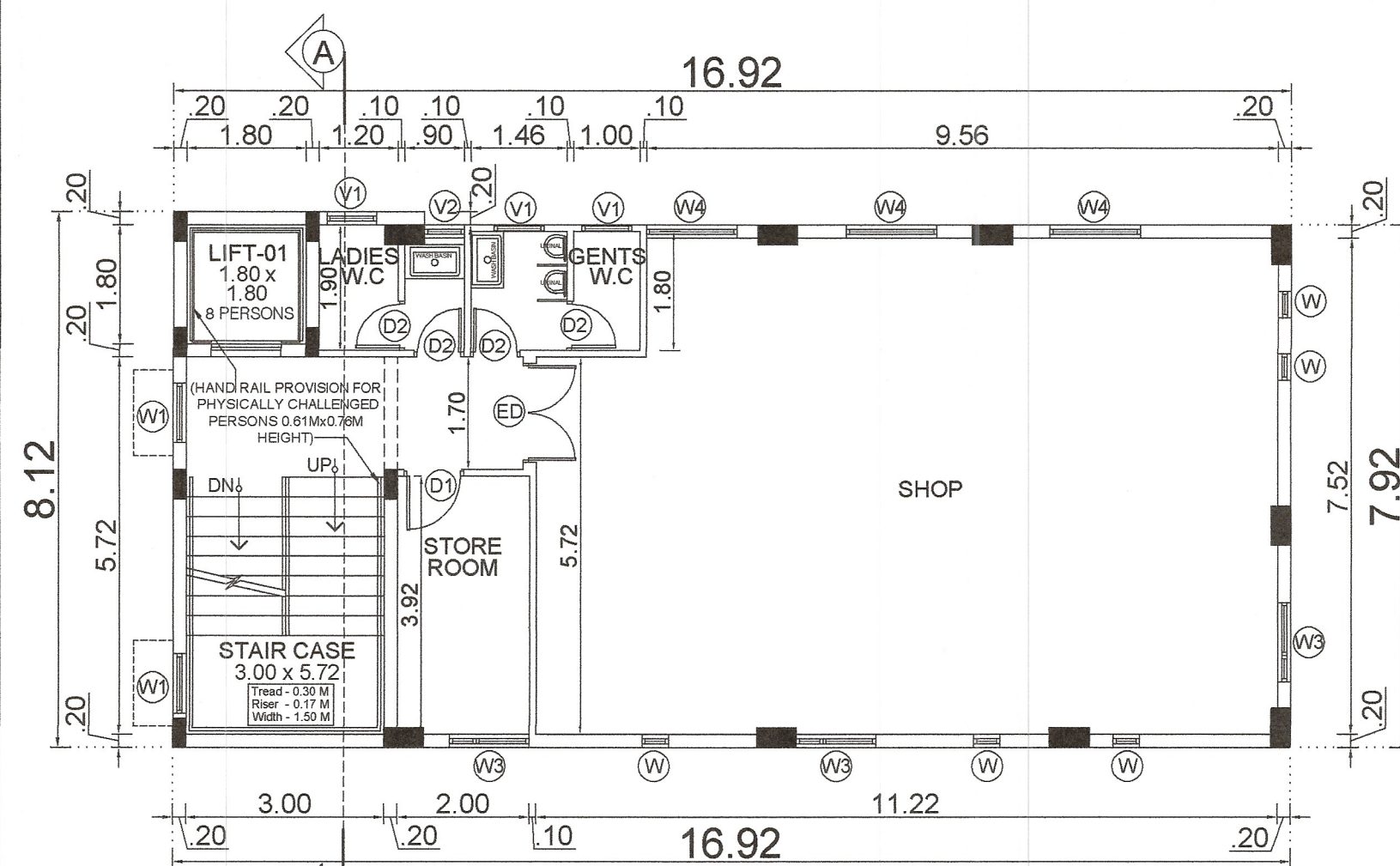
D. VASANTHA KUMAR
DTCP REG No: TVLR/RCE/2023/07/004
VALID UP TO: 04/07/2028
No: 45, T-1, 3rd FLOOR,
CHONA CENTER, COLLEGE ROAD.

DRAWING TITLE: GAMBARKAM, CHENNAI-600 006.
THIRD FLOOR PLAN, TERRACE FLOOR PLAN
FRONT ELEVATION (EAST SIDE) &
SECTION ON "A-A"

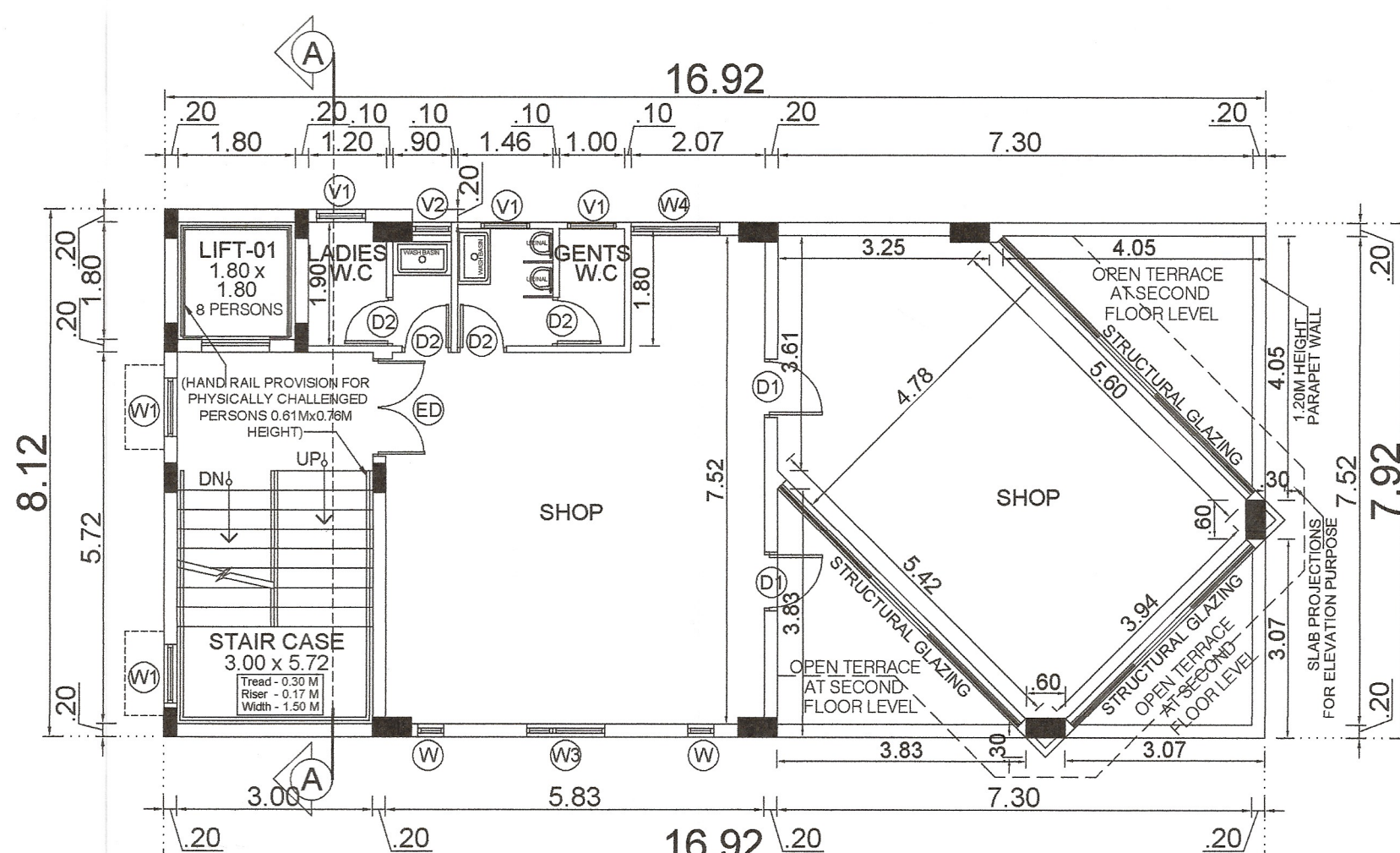
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SCALE 1:100 DATE 23.05.2023

SHEET NO : 03/03

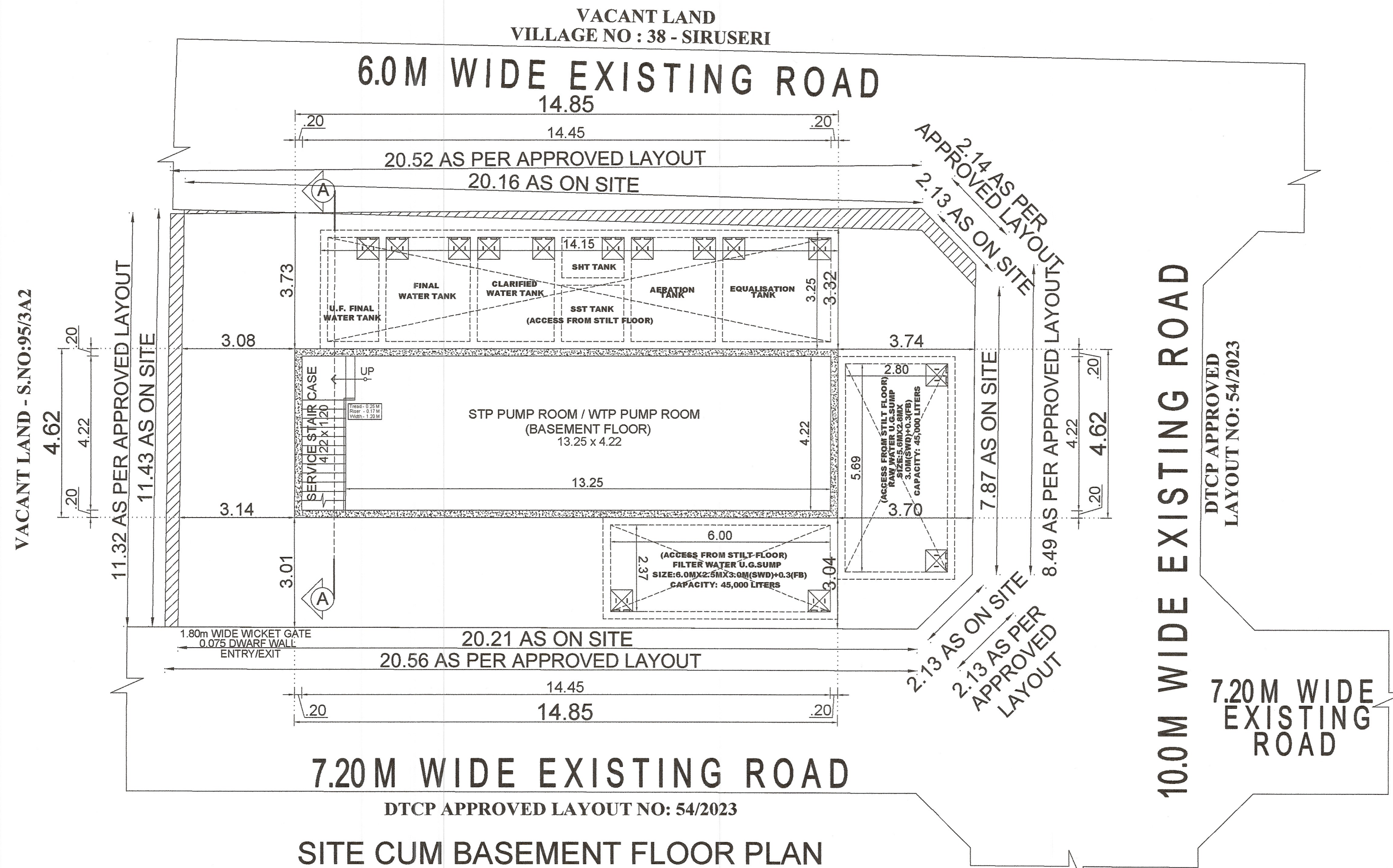
FOR OFFICE USE ONLY
TAMILNADU STATE WIDE SINGLE WINDOW PORTAL
ONLINE APPLICATION : SWP/BPA/010902/2023
SCRUTINY REFERENCE: NP6HANGD
PLANNING PERMISSION NO: BP/MLPA (CD-5) NO : 64/2023



FIRST FLOOR PLAN



SECOND FLOOR PLAN



SITE CUM BASEMENT FLOOR PLAN

JOB TITLE

PLAN SHOWING THE PROPOSED CONSTRUCTION OF BASEMENT + STILT FLOOR + 3 FLOOR'S COMMERCIAL SHOP BUILDING AT PLOT NO : CLUB HOUSE, KOSMOS SOLARIS, 10.0M WIDE EXISTING ROAD & 7.20M WIDE EXISTING ROAD, PUDUPAKKAM, CHENGALPATTU - 603 103. COMPRISED IN OLD SURVEY NO.95/3B, AS PER PATTI NO : 6335, NEW SURVEY NO.95/3B1 OF PUDUPAKKAM VILLAGE, VANDALUR TALUK, CHENGALPATTU DISTRICT. PUDUPAKKAM PANCHAYAT, THIRUPORUR PANCHAYAT UNION LIMIT.

SPECIFICATIONS:

FOUNDATION:
R.C.C. PILE FOUNDATION OVER A BED OF 1:1.5:3 SAND FILLING.
R.C. COLUMN FOUNDATION AND TIE (PUNTH) BEAMS OVER A BED OF 1:2:4 SAND CUSHIONS.
SUPER STRUCTURE:
100mm THK. INTERNAL & 200mm THK. EXTERNAL WALLS IN C.M 1:4 WITH PLASTER IN C.M 1:4
R.C.C. WORKS:
R.C. COLUMNS, BEAMS, SLABS, LINTELS, AND SUNSHADES IN M25 MIX ADEQUATELY REINFORCED.
FLOORING:
CERAMIC FLOORING.
WEATHERING COURSE:
ONE SET OF BRICK JELLY LIME CONCRETE MIXED WITH CRUDE OIL, POINTED AND LAID TO SLOPE.
NOTE:
UNDER GROUND SUMP AND OVER HEAD WATER TANK ARE SCIENTIFICALLY CLOSED.

SCHEDULE OF JOINTS

TYPE	DESCRIPTION	SIZE
ED	Entrance Door	1.50 x 2.10
D1	Door	0.90 x 2.10
D2	Door	0.76 x 2.10
W	Window	0.40 x 1.80
W1	Window	0.90 x 1.80
W2	Window	1.00 x 1.80
W3	Window	1.20 x 1.80
W4	Window	1.37 x 1.80
W5	Window	1.50 x 1.80
V1	Ventilator	0.75 x 0.90
V2	Ventilator	0.60 x 0.90

NORTH POINT:



ALL DIMENSION ARE IN METRE

COLOUR INDEX :-

PROPOSED	=	
BOUNDARY	=	
ROAD	=	

GPA / OWNER SIGNATURE
For URBANDO DEVELOPERS LLP

REGISTERED ENGINEER / ARCHITECT
C. KANNAN, S.E., M.E., (Structure)
Structural Engineer,
DTCP Reg. No. CGLRGN/SE/S-1/19/05/052
Door No: 21, 4th Main Road,
Indira Nagar, Chennai - 600 020

REGISTERED STRUCTURAL ENGINEER
C. KANNAN, S.E., M.E., (Structure)
Structural Engineer,
DTCP Reg. No. CGLRGN/SE/S-1/19/05/052
Door No: 21, 4th Main Road,
Indira Nagar, Chennai - 600 020

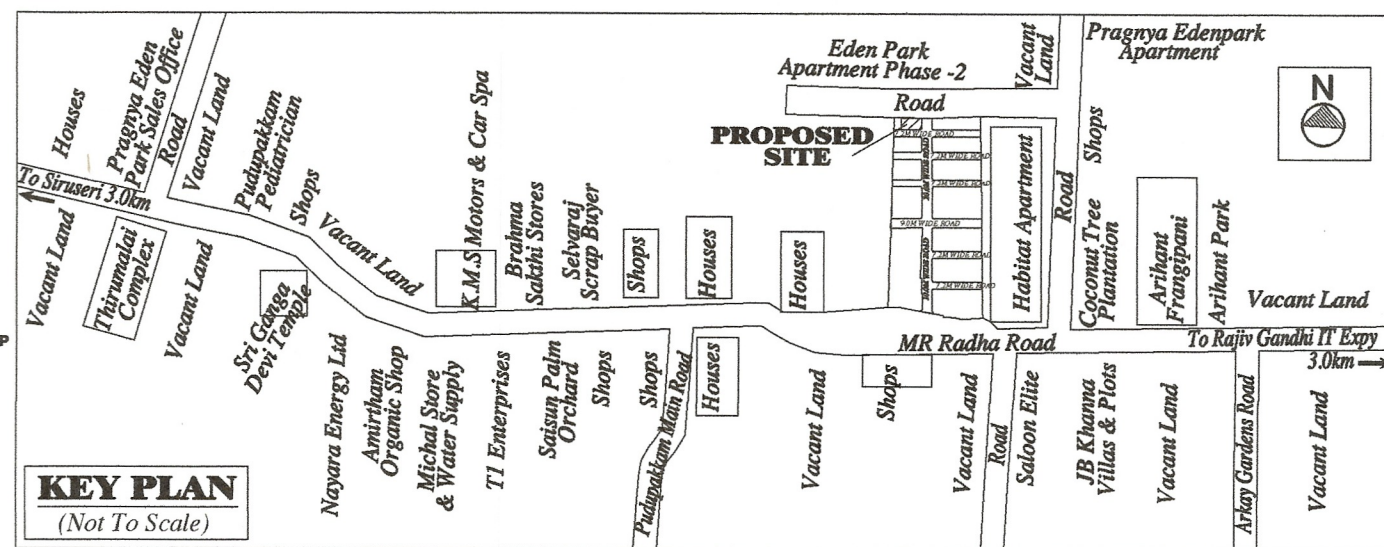
REGISTERED CONSTRUCTION ENGINEER
D. VASANTHA KUMAR
DTCP REG No: TVLR/RCE/2023/07/004
VALID UP TO: 04/07/2028
No: 45, T-1, 3rd FLOOR,
CHONA CENTER, COLLEGE ROAD,
JUNGAMBAKKAM, CHENNAI-600 006.

DRAWING TITLE
SITE CUM BASEMENT FLOOR PLAN,
FIRST FLOOR PLAN & SECOND FLOOR PLAN

DRAWN	S.S.	CHECKED	K.N.
SCALE	1:100	DATE	23.05.2023

SHEET NO : 02/03

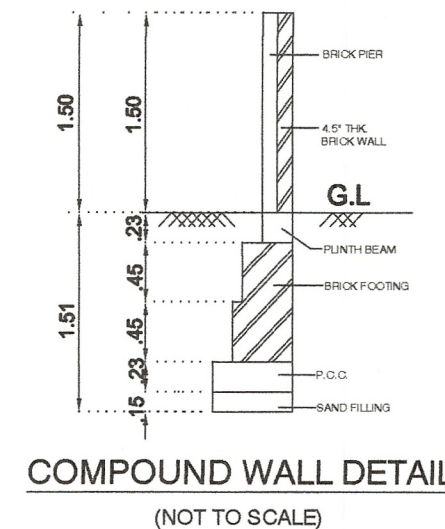
FOR OFFICE USE ONLY
TAMILNADU STATE WIDE SINGLE WINDOW PORTAL
ONLINE APPLICATION : SWP/BPA/010902/2023
SCRUTINY REFERENCE: NP6HANGD
PLANNING PERMISSION NO: BP/MLPA (CD-5) NO : 64/2023



EARLIER LAYOUT SANCTIONED DETAILS :

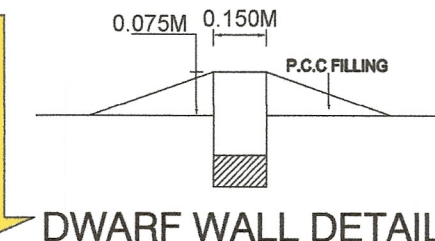
DTCP Approved Layout No.54/2023,
Vide Letter ROC No : VAFVJSLA/2023/TCP, Dt.21.03.2023
and the President, Pudupakkam Panchayat ,
Thiruporur Panchayat Union Approved Letter R.C No :1/2023
Dt. 05/04/2023 and No:04, Dt.05/04/2023

AREA STATEMENT (Area in sq.m)	
PLOT AREA AS PER APPROVED LAYOUT	249.52
PLOT AREA AS PER SITE	239.75
BLOCK 1	
FLOORS	FSI AREA
FLOOR- BASEMENT	68.61
FLOOR- STILT	00.00
FLOOR01	134.81
FLOOR02	114.56
FLOOR03	114.56
TOTAL	432.54
FSI AREA	432.54
FSI	432.54/239.75 Sq.m = 1.804
TOTAL NUMBER OF CAR PARKING REQUIRED	04 nos
TOTAL NUMBER OF CAR PARKING PROVIDED	04 nos
TOTAL NUMBER OF TWO WHEELERS PARKING REQUIRED	04 nos
TOTAL NUMBER OF TWO WHEELERS PARKING PROVIDED	08 nos

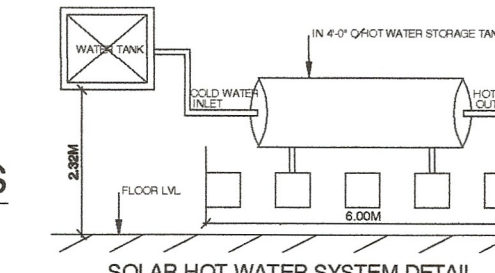


COMPOUND WALL DETAIL

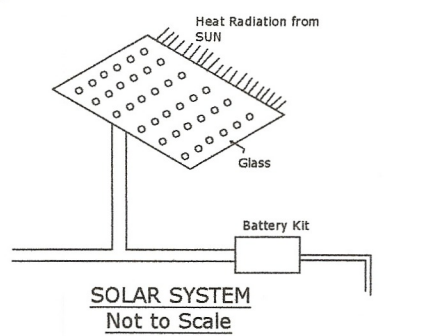
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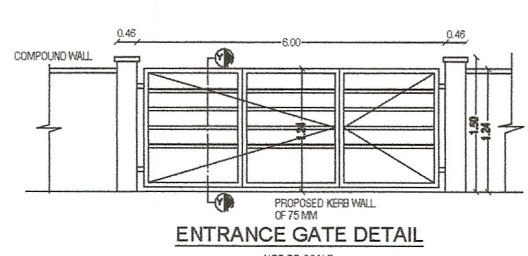
DWARF WALL DETAILS



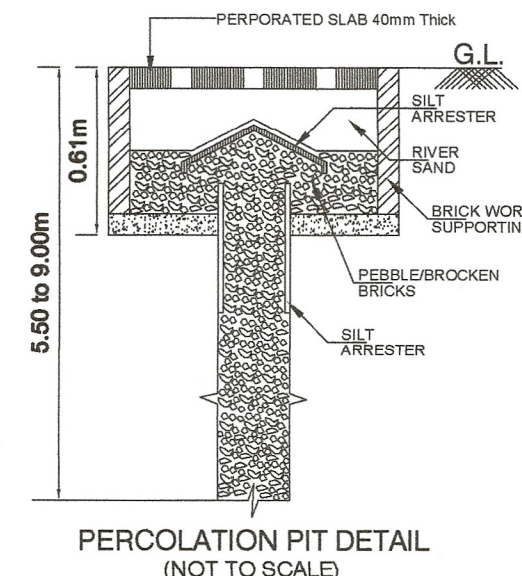
SOLAR HOT WATER SYSTEM DETAILS



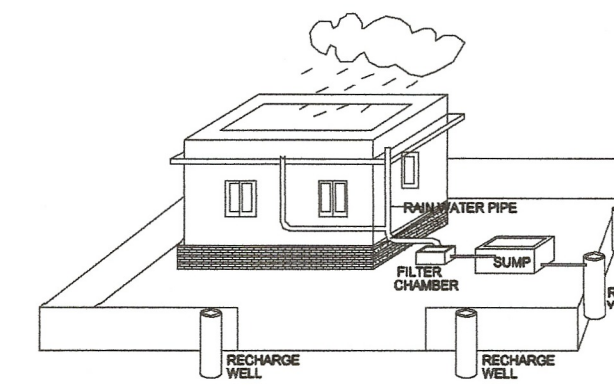
SOLAR SYSTEM
Not to Scale



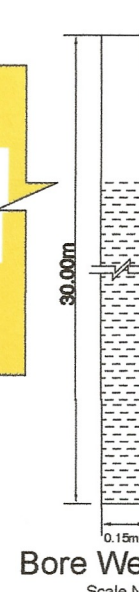
ENTRANCE GATE DETAIL



PERCOLATION PIT DATA
(NOT TO SCALE)



PROPOSED RAIN WATER HARVESTING SYSTEM
PROVIDED AS PER CBR NORMS DRAWING NO
NOT TO SCALE

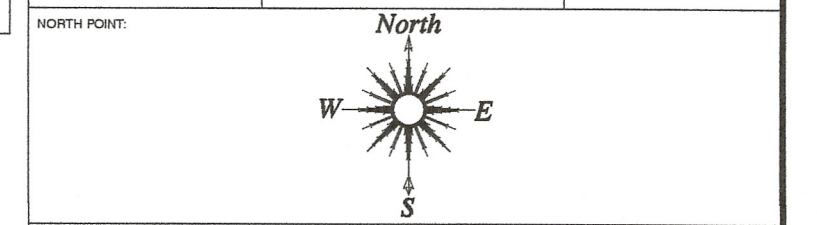


Bore Well Data

JOB TITLE
PLAN SHOWING THE PROPOSED CONSTRUCTION OF
BASEMENT + STILT FLOOR + 3 FLOOR'S COMMERCIAL
SHOP BUILDING AT PLOT NO : CLUB HOUSE,
KOSMOS SOLARIS, 10.0M WIDE EXISTING ROAD &
7.20M WIDE EXISTING ROAD, PUDUPAKKAM,
CHENGALPATTU – 603 103. COMPRISED IN OLD
SURVEY NO.95/3B, AS PER PATTA NO : 6335,
NEW SURVEY NO.95/3B1 OF PUDUPAKKAM VILLAGE,
VANDALUR TALUK, CHENGALPATTU DISTRICT.
PUDUPAKKAM PANCHAYAT,
THIRUPORUR PANCHAYAT UNION IIMIT

SPECIFICATIONS:	
FOUNDATION:	R.C.C. PILE FOUNDATION OVER A BED OF 1:1.5:3 SAND FILLING. R.C COLUMN FOUNDATION AND THE PLINTH BEAMS OVER A BED OF P.C.C 1:2:4 SAND CUSHIONS.
SUPER STRUCTURE:	100mm THK. INTERNAL & 200mm THK. EXTERNAL WALLS IN C.M 1:4 WITH PLASTER IN C.M 1:4
R.C.C. WORK:	R.C COLUMNS, BEAMS, SLABS, LINTELS, AND SUNSHADES IN M25 MIX ADEQUATELY REINFORCED.
FLOORING:	CERAMIC FLOORING.
WEATHERING COURSE:	ONE SET OF BRICK JELLY LIME CONCRETE MIXED WITH CRUDE OIL. PLOINDED AND LAID TO SLOPE.
NOTE:	UNDER GROUND SUMP AND OVER HEAD WATER TANK ARE IDENTICALLY CLASSED

SCHEDULE OF JOINERY		
TYPE	DESCRIPTION	SIZE
ED	Entrance Door	1.50 x 2.10
D1	Door	0.90 x 2.10
D2	Door	0.76 x 2.10
W	Window	0.40 x 1.80
W1	Window	0.90 x 1.80
W2	Window	1.00 x 1.80
W3	Window	1.20 x 1.80
W4	Window	1.37 x 1.80
W5	Window	1.50 x 1.80
V1	Ventilator	0.75 x 0.90
V2	Ventilator	0.60 x 0.90



ALL DIMENSION ARE IN METRE	
COLOUR INDEX :-	
PROPOSED	=
BOUNDARY	=
ROAD	=

GPA / OWNER SIGNATURE
For URBANDO DEVELOPERS LLP

REGISTERED ENGINEER / ARCHITECT

REGISTERED STRUCTURAL ENGINEER

C. KANNAN  B.E./M.E., (Structure)
Structural Engineer,
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Door No: 21, 4th Main Road,
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REGISTERED CONSTRUCTION ENGINEER

D. VASANTHA KUMAR
DTCP REG No: TVLR/RCE/2023/07/004
VALID UP TO: 04/07/2028
No: 45, T-1, 3rd FLOOR,
CHANDRASEKHAR NAGAR,
CHENNAI - 600 026

DRAWING TITLE	CHONGA CENTER, COLLEGE ROAD, KUNINGAMBAKKAM, CHENNAI-600 006. SITE CUM STILT FLOOR PLAN
---------------	---

DRAWN	S.S	CHECKED	K.N
SCALE	1:500	DATE	23.05.2023

SHEET NO : 01/03

FOR OFFICE USE ONLY
TAMILNADU STATE WIDE SINGLE WINDOW PORTAL ONLINE APPLICATION : SWP/BPA/010902/2023 SCRUTINY REFERENCE: NP6HANGD
PLANNING PERMISSION NO: BP/MLPA (CD-5) NO : 64/2023