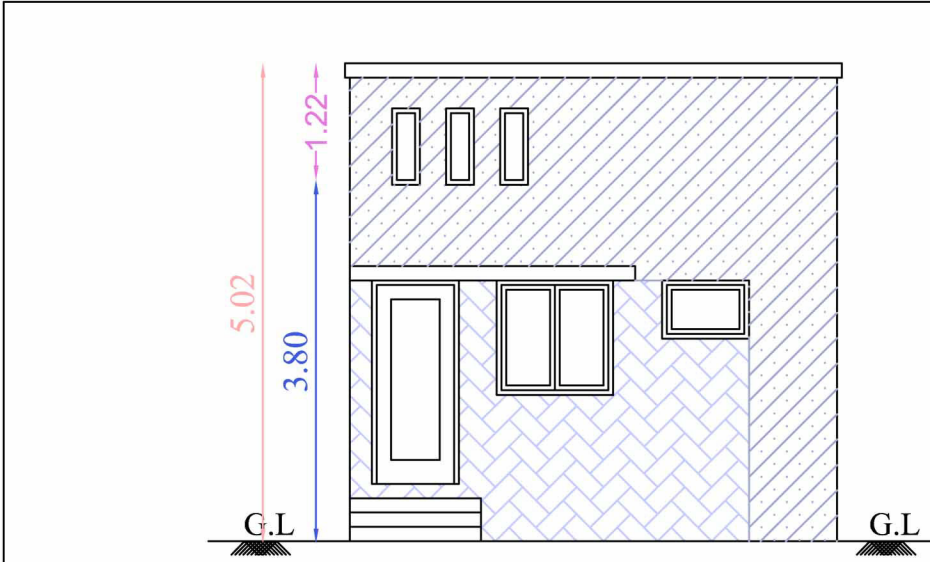
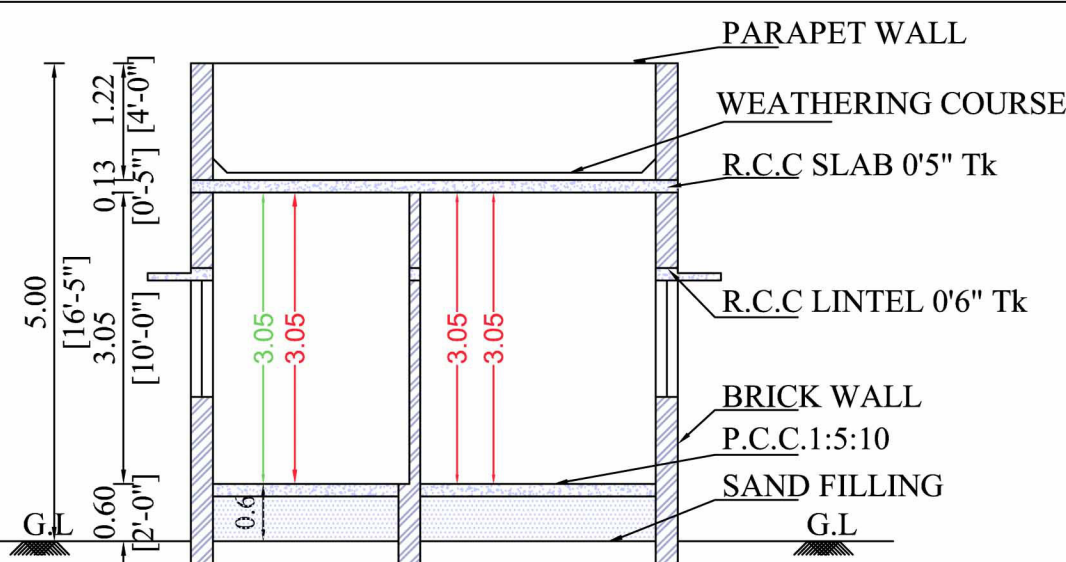
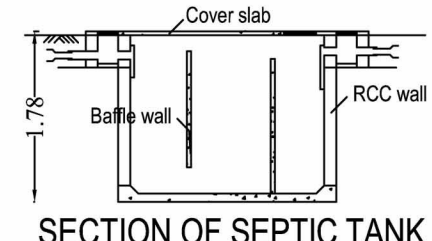




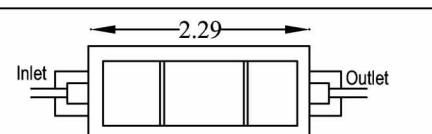
ELEVATION



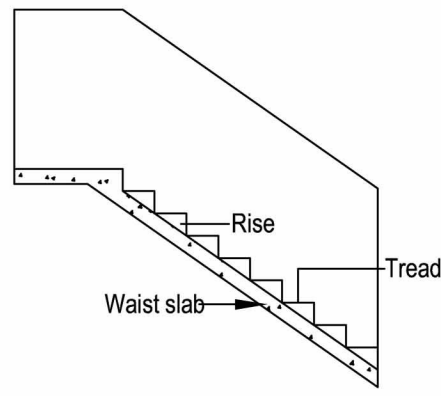
SECTION ON 'A-A'



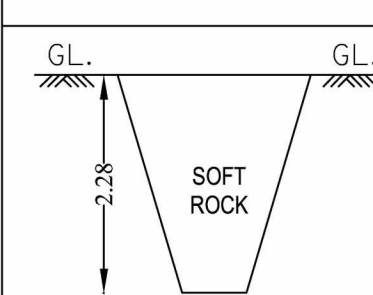
SECTION OF SEPTIC TANK



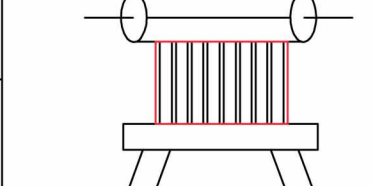
PLAN OF SEPTIC TANK



DETAILS OF STAIR CASE



TRIAL PIT

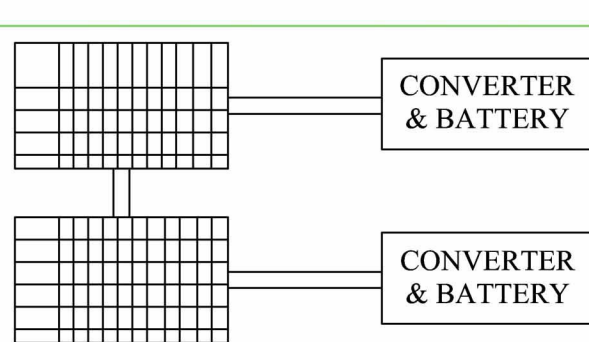


SOLAR WATER HEATER

COLOUR INDEX

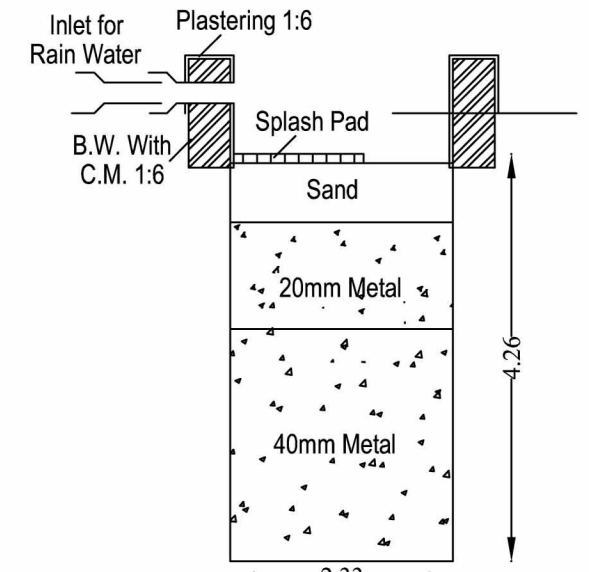
SITE : GREEN
ROAD : YELLOW
PRO. BUILDING : RED
EXI. BUILDING : BROWN

NOT TO SCALE

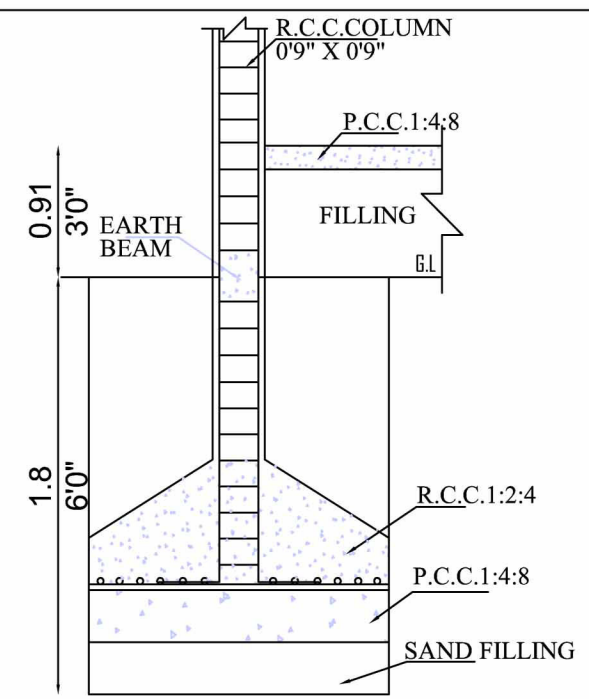


SOLAR ENERGY SYSTEM

JOINERY DETAILS:			
D	DOOR	0.91 x 2.10	3'0" x 7'0"
D1	DOOR	0.76 x 2.10	2'6" x 7'0"
O	OPENING	0.91 x 2.10	3'0" x 7'0"
W	WINDOW	1.52 x 1.52	5'0" x 5'0"
W1	WINDOW	1.22 x 1.22	4'0" x 4'0"
W2	WINDOW	0.76 x 1.22	2'6" x 4'0"
V	VENTILATOR	0.91 x 0.61	3'0" x 2'0"



RAIN WATER PERCOLATION PIT

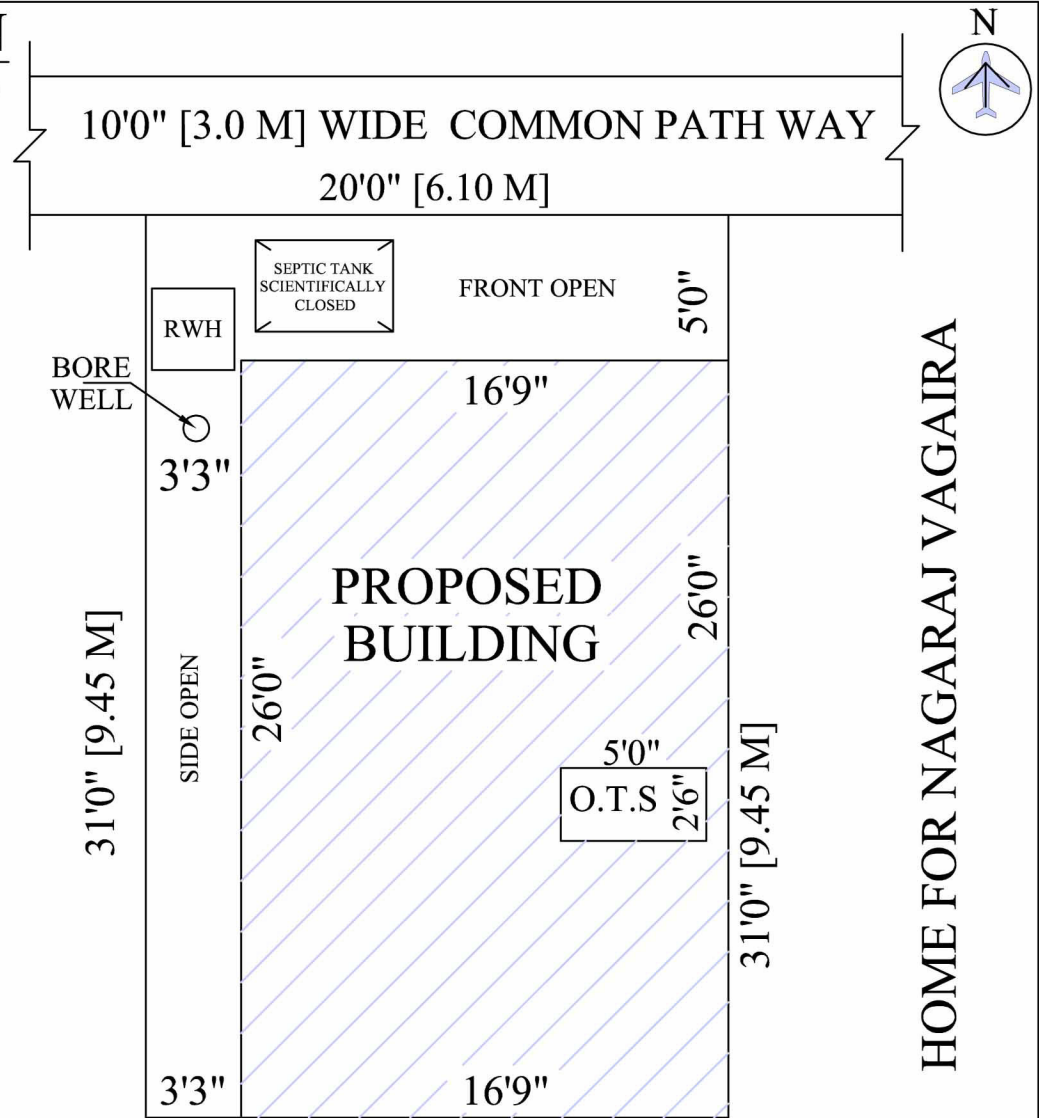


FOUNDATION DETAILS

NOT TO SCALE

SITE PLAN
(NOT TO SCALE)

LAND FOR Mr.A.SELVAM



HOME FOR Mr.GOPAL

AREA DETAILS	F.S.I		NON F.S.I		TOTAL	
	(Sq.m)	(Sq.Ft)	(Sq.m)	(Sq.Ft)	(Sq.m)	(Sq.Ft)
SITE AREA (AS PER DOCUMENT)					57.60	620.00
GROUND FLOOR AREA	39.23	423.00	—	—	39.23	423.00
OPEN AREA	—	—	—	—	18.37	197.00
TOTAL	39.23	423.00	—	—	—	—

FLOOR SPACE INDEX = $\frac{39.23}{57.60} = 0.681 < 2.0\%$

CAR PARKING REQUIRED - 0 No
TWO WHEELER PARKING REQUIRED - 1 No

PLAN SHOWING THE PROPOSED CONSTRUCTION
OF A RESIDENTIAL BUILDING IN SURVEY NO:541/4,
PATTA NO: 6226, PATTA SURVEY NO: 541/39, WARD NO:
14, KATCHAKARIYAMMAN KOVIL STREET, ELUMALAI
TOWN PANCHAYATH, PERAIYUR TALUK,
MADURAI DISTRICT.

SCALE: 1:100

A. Periyandavar

Mr.A.PERIYANDAVAR
NAME OF APPLICANT

N. SETHU RAJAN

Er.N.SETHU RAJAN., D.C.E., A.Cad.,
SETHU CONSTRUCTIONS
REGISTERED ENGINEER
(ELUMALAI TOWN PANCHAYATH)
REGISTERED ENGINEER(MDTC Reg.no: RE(Gr.III)11/2022)
ELUMALAI MAIN BAZZAR, ELUMALAI,
CELL: +91 90039 83538, E Mail id: nsethurajans@gmail.com

REGISTERED ENGINEER

PLAN INFO
SURVEY_NO= 541/4, 541/39
PATTA_NO= 6226
TALUK=PERAIYUR
AS_AT_SITE= 57.60
FMB_OR_PLR= 57.60
PLOT_AREA_M2= 57.60
AS_PER_DOCUMENT= 57.60
OSR_APPLICABLE=NO
PREMIUM_FSI_REQUIRED=NO
IS_APPROVED_LAYOUT=NO
IS_SWIMMING_POOL_EXISTS=NO
PLOT_NO=NO
DOOR_NO=NO
DISTRICT=MADURAI
SINGLE_FAMILY_BLDG=YES
CRZ=NO
SECURITY_ZONE=NO
ACCESS_WIDTH_M=0.91
WHETHER_GOVT_OR_AIDED_SCHOOL=NO
ROAD_WIDTH=3.00
ROAD_LENGTH=7.0
AVG_PLOT_DEPTH=9.45
AVG_PLOT_WIDTH=6.10
LAND_USE_ZONE = RESIDENTIAL
RWH_DECLARED=YES
BUILDING_NEAR_TO_RIVER=NO
AREA_TYPE=OTHERS
BUILDING_NEAR_MONUMENT=NO
BUILDING_NEAR_GOVT_BLDG=NO
NOC_FOR_CONSTRUCTION_NEAR_MONUMENT=NO
JURISDICTION_TYPE=PANCHAYAT
IF_HERITAGE_TOWN_LESSTHAN_1KM_RADIUS=NO



6.10 M]

OMMON PATH WAY

5.10
[16'-9"]

10
'-0"]

LOOR PLAN